

Notice of Meeting

Southern Area Planning Committee

Date: Tuesday 26 September 2023

Time: 5.30 pm

Venue: Main Hall, Crosfield Hall, Broadwater Road, Romsey, Hampshire,
SO51 8GL

For further information or enquiries please contact:

Caroline Lovelock - 01264 368000
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Legal and Democratic Service

Test Valley Borough Council,
Beech Hurst, Weyhill Road,
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SP10 3AJ

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PUBLIC PARTICIPATION SCHEME

*If members of the public wish to address the meeting they should notify the
Legal and Democratic Service at the Council's Beech Hurst office by noon
on the working day before the meeting.*

Membership of Southern Area Planning Committee

MEMBER	WARD
Councillor M Cooper (Chairman)	Romsey Tadburn
Councillor A Dowden (Vice-Chairman)	Valley Park
Councillor G Bailey	Blackwater
Councillor P Bundy	Chilworth, Nursling & Rownhams
Councillor J Burnage	Romsey Cupernham
Councillor C Dowden	Valley Park
Councillor K Dunleavey	Chilworth, Nursling & Rownhams
Councillor A Ford	North Baddesley
Councillor S Gidley	Romsey Abbey
Councillor I Jeffrey	Mid Test
Councillor A Johnston	Mid Test
Councillor J Parker	Romsey Tadburn
Councillor A Warnes	North Baddesley

Southern Area Planning Committee

Tuesday 26 September 2023

AGENDA

**The order of these items may change as a result of members
of the public wishing to speak**

- 1 Apologies**
- 2 Public Participation**
- 3 Declarations of Interest**
- 4 Urgent Items**
- 5 Minutes of previous meeting 5 - 18**

To approve as a correct record the minutes of the meeting held on 5 September 2023.
- 6 Information Notes 19 - 24**
- 7 23/00805/FULLS - 30.03.2023 25 - 48**

(OFFICER RECOMMENDATION: PERMISSION)
SITE: The Romsey School, Greatbridge Road, Romsey,
SO51 8ZB, **ROMSEY TOWN**
CASE OFFICER: Kate Levey
- 8 23/01560/FULLS - 22.06.2023 49 - 63**

(OFFICER RECOMMENDATION: REFUSE)
SITE: Ashley Glebe Farm Barn, Chalk Vale, Ashley, SO20
6RG, **ASHLEY**
CASE OFFICER: Paul Goodman
- 9 23/01816/FULLN - 20.07.2023 64 - 73**

(OFFICER RECOMMENDATION: PERMISSION)
SITE: Kings Farm House, Station Road, Over Wallop,
SO20 8HZ, **OVER WALLOP**
CASE OFFICER: Gillian Wheeler

10 23/01817/LBWN - 20.07.2023

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(OFFICER RECOMMENDATION: CONSENT)

SITE: Kings Farm House, Station Road, Over Wallop,

SO20 8HZ, **OVER WALLOP**

CASE OFFICER: Gillian Wheeler

ITEM 5 Minutes of the **Southern Area Planning Committee**
of the **Test Valley Borough Council**
held in Main Hall, Crosfield Hall, Broadwater Road, Romsey
on Tuesday, 5 September 2023 at 5.30 pm

Attendance:

Councillor M Cooper (Chairman)	Councillor A Dowden (Vice-Chairman)
Councillor G Bailey	Councillor A Ford
Councillor P Bundy	Councillor S Gidley
Councillor J Burnage	Councillor A Johnston
Councillor C Dowden	Councillor J Parker
Councillor K Dunleavy	Councillor A Warnes

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Apologies

Apologies were received from Councillor Jeffrey.

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Public Participation

In accordance with the Council's scheme of Public Participation, the following spoke on the application indicated:

<u>Agenda Item No.</u>	<u>Page No.</u>	<u>Application</u>	<u>Speaker</u>
7	22 - 48	23/01289/FULLS	Mr Watts (Applicant)
8	49 - 76	22/00217/OUTS	Parish Councillor Young (Houghton Parish Council) Mr Carr (Applicant) Mr Gregory (on behalf of Applicant)
9	77 - 93	23/00804/FULLS	Ms McHugh (Objector) Mrs Eagle (Applicant) Ms McCrudden (On behalf of Applicant)
10	94 - 112	23/00558/FULLS	Mr Lam (Supporter) Ms Cutts (Applicant's Agent)

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Declarations of Interest

Councillor Bundy declared a personal interest in application 23/01289/FULLS in that he was a member of the Bowling Club next door to the application. He remained in the room and spoke and voted thereon.

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Urgent Items

There were no urgent items.

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Minutes of previous meeting

Councillor Cooper proposed and Councillor A Dowden seconded the motion that the minutes of the previous meeting were an accurate record. Upon being put to the vote the motion was carried.

Resolved:

That the minutes of the meeting held on 15 August 2023 be confirmed and signed as a correct record.

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Schedule of Development Applications

Resolved:

That the applications for development, as set out below, be determined as indicated.

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23/01289/FULLS

APPLICATION NO.	23/01289/FULLS
APPLICATION TYPE	FULL APPLICATION - SOUTH
REGISTERED	20.06.2023
APPLICANT	Trojans Club
SITE	The Trojans Club, Stoneham Lane, South Eastleigh, SO50 9HT, CHILWORTH
PROPOSAL	Alterations and extension to clubhouse, provision of padel courts, and provision of additional parking
AMENDMENTS	Response to Objections from King Edward School – 11.08.2023 Response to Sports England Comments – 14.08.2023
CASE OFFICER	Sarah Barter

PERMISSION subject to:

- 1. The development hereby permitted shall be begun within three years from the date of this permission.**

Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers**

**P20-080 02-02-004 - site location plan
P20-080 02-02-001 - block plan
P20-080 02-02-002 - site plan
P20-080 02-02-003 - Topo survey
P20-080 02-05-001 - Proposed elevations
P20-080 02-05-002 - Proposed Elevations
P20-080 02-03-001 - Proposed ground floor
P20-080 02-03-002 - Proposed first floor
P20-080 02-03-003 - Existing ground floor
P20-080 02-05-004 - Existing first floor
P20-080 02-05-003 - Existing elevation
P20-080 02-02-005 - court plan**

Reason: For the avoidance of doubt and in the interests of proper planning.

- 3. No development shall take place above DPC level of the development hereby permitted until samples and details of the materials to be used in the construction of all external surfaces hereby permitted have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.**

Reason: To ensure the development has a satisfactory external appearance in the interest of visual amenities in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1.

- 4. Development shall proceed in accordance with the measures set out in Section 4.2 (Table 8) of the PRA report by Arb Tech (August 2021). In addition, it is highly advisable to undertake clearance of potential bird nesting areas outside the bird nesting season, which is generally seen as extending from March to the end of August, although may extend longer depending on local conditons. If there is absolutely no alternative to doing the work in during this period then a thorough, careful and quiet examination of the affected area must be carried out before clearance starts. If occupied nests are present then work must stop in that area, a suitable (approximately 5m) stand-off maintained, and clearance can only recommence once the nest becomes unoccupied of its own accord.**

Reason: To protect and enhance biodiversity in accordance with the Habitat and Species Regulations 2017, Wildlife and Countryside Act 1981, NERC Act, NPPF and Policy E5 of the Test Valley Local Plan.

- 5. No development (including site clearance and any other preparatory works) shall take place until a scheme detailing how trees shown on the approved plans to be retained are to be protected has been submitted to and approved in writing by the Local Planning Authority. Such a scheme shall include a plan showing the location and specification of any protective fencing, ground protection or other precautionary measures as informed by British Standard 5837:2012. Such protection measures shall be installed prior to any other site operations and at least 2 working days notice shall be given to the Local Planning Authority. Tree protection installed in discharge of this condition shall be retained and maintained for the full duration of works or until such time as agreed in writing with the Local Planning Authority. No activities whatsoever shall take place within the protected areas without the prior written agreement of the Local Planning Authority.**

Reason: To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with Test Valley Borough Revised Local Plan policy E2.

6. **Tree protective measures installed (in accordance with the preceding tree protection condition) shall be installed, maintained and retained for the full duration of works or until such time as agreed in writing with the Local Planning Authority. No activities, nor material storage, nor placement of site huts or other equipment what-so-ever shall take place within the barrier.**

Reason: To ensure the avoidance of damage to existing trees and natural features during the construction phase in accordance with Test Valley Borough Revised Local Plan policy E2.

7. **Prior to the first use of any part of the development hereby approved a replacement tree planting plan and specification shall be submitted to and agreed by the Local Planning Authority. The new trees as detailed shall be planted in the approved positions in the first planting season following the completion of the development. This must be planted in accordance with the recommendations in BS8545:2014 'Trees: from nursery to independence in the landscape -Recommendations'. Any trees which die or become damaged within 5 years shall be replaced,**

Reason: To ensure the continuation of canopy cover in the area and enhance the development in accordance with policy E2.

8. **Before the development hereby permitted is commenced details, including plans and cross sections, shall be submitted to and approved by the Local Planning Authority of the existing and proposed ground levels of the development and the boundaries of the site and the height of the ground floor slab and damp proof course in relation thereto. Development shall be undertaken in accordance with the approved details.**

Reason: To ensure satisfactory relationship between the new development and the adjacent buildings, amenity areas and trees in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1.

9. **The development shall not be occupied until space has been laid out and provided for the parking and manoeuvring of vehicles to enable them to enter and leave the site in a forward gear in accordance with the approved plan P20-080 02-02-002 Site plan. Prior to use of the car parking areas details of how these parking spaces are to be demarcated shall be submitted to and approved in writing by the Local Planning Authority. Once approved the parking spaces shall be provided and demarcated in accordance with the approved details prior to the first use and these spaces shall thereafter be reserved for such purposes at all times as shall the demarcation of each individual space.**

Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1 and to ensure that parking is provided and the correct number of spaces.

10. **Details of any external lighting shall be submitted to and approved in writing by the local planning authority prior to the occupation or first use of any part of the development . Development shall be carried out and maintained in accordance with the approved details and no additional external lighting shall be provided thereafter.**

Reason: To safeguard the amenities of the area in accordance with Test Valley Borough Revised Local Plan (2016) Policy E5 and LHW4.

11. No development shall take place, (including any works of demolition), until a Construction Method Statement has been submitted to, and approved in writing by, the LPA. The approved statement shall include scaled drawings illustrating the provision for –
- 1) The parking of site operatives and visitors' vehicles.
 - 2) Loading and unloading of plant and materials.
 - 3) Management of construction traffic and access routes.
 - 4) Storage of plant and materials used in constructing the development.
 - 5) Full swept path vehicle tracking
 - 6) Wheel cleaning and chassis of HGVs and delivery vehicles leaving the site
 - 7) Means of keeping the site access road and adjacent public highway clear of mud and debris during site demolition, excavation, preparation and construction.

Development shall be carried out in accordance with the approved detail.

Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.

12. The padel tennis courts hereby approved shall not be used until full details of the design and specification of the ball stop mitigation, including details of management and maintenance responsibilities, as set out in Labosport's risk assessment/mitigation report dated 4th August 2023, have been; (a) submitted to and; (b) approved in writing by the Local Planning Authority, after consultation with Sport England. The approved mitigation shall be installed in full before the padel tennis courts are first used and thereafter be managed and maintained in accordance with the approved details.

Reason: To provide protection for the new padel tennis courts and its users from potential ball strike from the cricket pitch and to accord with policy LHW4 of the Revised Borough Local Plan 2016.

Note to Applicant:

1. The development hereby permitted shall be carried out and completed strictly in accordance with the submitted plans, specifications and written particulars for which permission is hereby granted or which are subsequently submitted to, and approved in writing by, the Local Planning Authority and in compliance with any conditions imposed by the Local Planning Authority.

The Officer's recommendation as per the agenda and the update paper was proposed by Councillor M Cooper and seconded by Councillor A Dowden. Upon being put to the vote the motion was carried.

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22/00217/OUTS

APPLICATION NO.	22/00217/OUTS
APPLICATION TYPE	OUTLINE APPLICATION - SOUTH
REGISTERED	28.01.2022
APPLICANT	Fortitudo Ltd
SITE	Ro-Dor Ltd , Stevens Drove, Houghton, SO20 6LP, HOUGHTON

PROPOSAL	Outline application for demolition of existing industrial unit and the erection of 6 dwellings with associated parking (with all matters to be considered except landscaping which is a reserved matter)
AMENDMENTS	Nitrate information March 2023 Marketing report – Jan 2023
CASE OFFICER	Sarah Barter

Delegate to Head of Planning and Building to complete the legal agreement to secure:

- Financial contribution towards off site housing provision
 - Financial contribution towards New Forest SPA
 - Secure mitigation for Nitrate neutrality
 - Restriction to a maximum of 3 bedrooms per each individual dwelling
1. Applications for the approval of all the reserved matters, within the Outline Application Boundary on Drw.No.9509/300 E, referred to herein shall be made within a period of three years from the date of this permission. The development to which the permission relates shall be begun not later than whichever is the later of the following dates:
 - i) five years from the date of this permission: or
 - ii) three years from the final approval of the said reserved matters, or, in the case of approval on different dates, the final approval of the last such matter to be approved.Reason: To comply with the provision of S.92 of the Town & Country Planning Act 1990.
 2. Approval of the details of the landscaping of the site (herein after called "the reserved matters") within the Outline Application Boundary on Drw. 9509/300 E shall be submitted to and approved in writing by the local planning authority in writing before the development is commenced.
Reason: To comply with Article 4 of the Town and Country Planning (General Management Procedure) (England) Development Procedure) Order 2015 (or any order revoking and re-enacting that Order).
 3. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers
Block / site 9509/300 E
Unit 1 9509/301 C
Unit 2 9509/302 C
Unit 3 9509/303 C
Unit 4 9509/303 C
Unit 5 9509/305 C
Unit 6 9509/306 B
suds 9509/309 A
Reason: For the avoidance of doubt and in the interests of proper planning.
 4. Development shall proceed in accordance with the measures set out in Section 6.0 'Recommendations' of the Ro Dor Ltd, Houghton, Preliminary Ecological Appraisal (Ecosupport, January 2022), and Section 5.0 'Mitigation & Compensation' and Section 6.0 'Additional Recommendations' of the Ro Dor Ltd, Houghton, Phase 2 Bat Surveys & Mitigation (Ecosupport, January 2022), unless varied by a European Protected Species (EPS) license issued by Natural England. Thereafter, the replacement bat roost features and enhancements shall be permanently maintained and retained in accordance with the approved details.
Reason: to ensure the favourable conservation status of protected species in accordance with Policy E5 of the Test Valley Revised Local Plan DPD.

- 5. External lighting will follow best practice guidelines outlined by the Bat Conservation Trust and the Institute of Lighting Professionals (Guidance note 08/18 Bats and artificial lighting in the UK). Prior to commencement, a detailed lighting strategy for the construction and operation phase of the development shall be submitted to and approved in writing by the Local Planning Authority. Development shall subsequently proceed in accordance with any such approved details, with the approved lighting strategy maintained in perpetuity.
Reason: to prevent disturbance to protected species in accordance with the National Planning Policy Framework and the Revised Test Valley Local Plan DPD.**
- 6. No development shall take place (other than any approved demolition and site clearance works) until an assessment of the nature and extent of any contamination and a scheme for remediating the contamination has been submitted to and approved in writing by the Local Planning Authority. The assessment must be undertaken by a competent person, and shall assess the presence of any contamination on the site, whether or not it originates on the site. The assessment shall comprise at least a desk study and qualitative risk assessment and, where appropriate, the assessment shall be extended following further site investigation work. In the event that contamination is found, or is considered likely, the scheme shall contain remediation proposals designed to bring the site to a condition suitable for the intended use. Such remediation proposals shall include clear remediation objectives and criteria, an appraisal of the remediation options, and the arrangements for the supervision of remediation works by a competent person. The site shall not be brought in to use until a verification report, for the purpose of certifying adherence to the approved remediation scheme, has been submitted to and approved in writing by the Local Planning Authority
Reason: In the interest of pollution in accordance with Test Valley Borough Revised Local Plan (2016) Policy E8.**
- 7. No development shall take place, (including any works of demolition), until a Construction Method Statement has been submitted to, and approved in writing by, the LPA. The approved statement shall include scaled drawings illustrating the provision for -**

 - 1) The parking of site operatives and visitors' vehicles.**
 - 2) Loading and unloading of plant and materials.**
 - 3) Management of construction traffic and access routes.**
 - 4) Storage of plant and materials used in constructing the development.**
 - 5) Vehicle tracking in associated with the largest vehicles associated with construction.**

Reason: In the interests of highway safety in accordance with policy T1 of the Revised Borough Local Plan 2016.
- 8. Prior to commencement on site a scheme shall be submitted to and approved in writing by the Local Planning Authority detailing the method of cleaning wheels and chassis of all HGV's, plant and delivery vehicles leaving the site and the means of keeping the site access road and adjacent public highway clear of mud and debris during site demolition, excavation, preparation and construction. The scheme shall be implemented in accordance with the approved details and shall be installed and operational before any development commences and retained in working order throughout the duration of the development. No vehicles shall leave the site in a condition whereby mud, clay or other deleterious materials shall be deposited on the public highway.
Reason: In the interests of highway safety in accordance with policy T1 of the Revised Borough Local plan 2016.**

- 9. The development shall not be brought into use until vehicular visibility splays as indicated on the approved plan(s) in which there should be no obstruction to visibility exceeding 1.0m in height above the adjacent carriageway channel line have been completed. The Visibility Splays shall thereafter be retained for the lifetime of the development.**
Reason: To provide and maintain adequate visibility in the interests of highway safety in accordance with policy T1 of the Revised borough Local Plan 2016.
- 10. The development shall not be occupied until space has been laid out and provided for the parking and manoeuvring of vehicles to enable them to enter and leave the site in a forward gear in accordance with the approved plan and this space shall thereafter be reserved for such purposes at all times.**
Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.
- 11. At least the first 4.5 metres of both access tracks measured from the nearside edge of carriageway of the adjacent highway shall be surfaced in a non-migratory material prior to the use of the access commencing and retained as such at all times.**
Reason: In the interest of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.
- 12. The development hereby approved shall be undertaken in full accordance with the provisions set out within the Hearne Arboriculture Arboricultural Impact Appraisal and Method Statement reference JH/AIA/22/034 dated 9 March 2022.**
Reason: To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with Test Valley Borough Revised Local Plan policy E2.
- 13. Tree protective measures installed (in accordance with the tree protection condition) shall be maintained and retained for the full duration of works or until such time as agreed in writing with the Local Planning Authority. No activities, nor material storage, nor placement of site huts or other equipment what-so-ever shall take place within the barrier.**
Reason: To ensure the avoidance of damage to existing trees and natural features during the construction phase in accordance with Test Valley Borough Revised Local Plan policy E2.
- 14. All service routes, drain runs, soakaways or excavations in connection with the development hereby permitted shall remain wholly outside the tree protective barrier.**
Reason: To ensure the avoidance of damage to existing trees and natural features during the construction phase in accordance with Test Valley Borough Revised Local Plan policy E2.
- 15. The development hereby approved shall be designed and built to meet Regulation 36 2 (b) requirement of 110 litres/person/day water efficiency set out in part G2 of Building Regulations 2015.**
Reason: In the interests of improving water usage efficiency in accordance with policy E7 of the Test Valley Borough Revised Local Plan 2016.
- 16. Before the development hereby permitted is commenced details, including plans and cross sections, shall be submitted to and approved by the Local Planning Authority of the existing and proposed ground levels of the development and the boundaries of the site and the height of the ground floor slab and damp proof course in relation thereto. Development shall be undertaken in accordance with the approved details.**
Reason: To ensure satisfactory relationship between the new development and the adjacent buildings, amenity areas and trees in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1.

17. **Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no windows/dormer windows in the elevations or roofs of the proposals hereby permitted [other than those expressly authorised by this permission] shall be constructed.**
Reason: In order that the Local Planning Authority can exercise control in the locality in the interest of the local amenities in accordance with Test Valley Borough Revised Local Plan (2016) Policy LHW4.
18. **Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order amending, revoking or re-enacting that Order), the garage(s) hereby approved shall at all times be available for the parking of vehicles.**
Reason: In order to maintain the approved on site parking provision and to reduce highway congestion in accordance with Test Valley Borough Revised Local Plan (2016) Policy T2.
19. **No development shall take place above DPC level of the development hereby permitted until full details of hard and soft landscape works have been submitted and approved. Details shall include-where appropriate: proposed finished levels; means of enclosure; car parking layouts; hard surfacing materials.**
Soft landscape works shall include: planting plans; written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities.
The landscape works shall be carried out in accordance with the implementation programme and in accordance with the management plan.
Reason: To improve the appearance of the site and enhance the character of the development in the interest of visual amenity and contribute to the character of the local area in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1 and E2.
20. **No development shall take place above DPC level of the development hereby permitted until a schedule of landscape management and maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The landscape management plan, including long term design objectives, management responsibilities and maintenance schedules for all landscape areas and an implementation programme, shall be submitted to and approved in writing by the Local Planning Authority. The approved management plan shall be carried out in accordance with the implementation programme.**
Reason: To ensure the provision of amenity afforded by proper maintenance of existing and new landscape features as an improvement of the appearance of the site and to enhance the character of the development in the interest of visual amenity and contribute to the character of the local area in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1 and E2.

Note to Applicant:

1. **The development hereby permitted shall be carried out and completed strictly in accordance with the submitted plans, specifications and written particulars for which permission is hereby granted or which are subsequently submitted to, and approved in writing by, the Local Planning Authority and in compliance with any conditions imposed by the Local Planning Authority.**

The Officer’s recommendation as per the agenda and update paper was proposed by Councillor M Cooper and seconded by Councillor A Dowden. An amendment was proposed by Councillor Johnston and seconded by Councillor A Dowden. Upon being put to the vote the amendment was carried. Members also agreed to remove condition 21 as set out in the agenda. The substantive motion was then put to the vote and was carried.

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23/00804/FULLS

APPLICATION NO.	23/00804/FULLS
APPLICATION TYPE REGISTERED	FULL APPLICATION – SOUTH 28.03.2023
APPLICANT SITE	The Romsey School The Romsey School , Greatbridge Road, Romsey, SO51 8ZB, ROMSEY TOWN
PROPOSAL	Demolish garage, timber shed and two lean-to structures, construct single storey extension to the retained building
AMENDMENTS	<ul style="list-style-type: none"> • 26 April 2023 – Additional Woodland Trust Plan received. • 26 April 2023 – Additional Hedge Line Plan received. • 15 May 2023 – Construction Environmental Management Plan (CEMP) Received • 07 June 2023 – Revised Construction Environmental Management Plan (CEMP) Received • 17 July 2023 – Ecological Impact Assessment received.

PERMISSION subject to:

1. **The development hereby permitted shall be begun within three years from the date of this permission.**
Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
2. **The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers;**
Location Plan – 28153-PD100
Block Plan – 28153-PD111
Topographical Plan – 28153-PD099
Proposed Floor Plan – 28153-PD112
Proposed Elevations – 28153-PD114 B
Reason: For the avoidance of doubt and in the interests of proper planning.
3. **The external materials to be used in the construction of external surfaces of the development hereby permitted shall be in complete accordance with the details specified on the submitted application form.**

Reason: To ensure a satisfactory visual relationship of the new development with the existing in accordance with Test Valley Borough Revised Local Plan (2016) Policy E1.

- 4. Development shall proceed in accordance with the measures set out in Section 5 of the EIA by ECOSA (July 2023) and the Construction Environmental Management Plan (CEMP). These shall include;**
- Spill kits stored so that they are readily available**
 - Materials and machinery stored as far away as possible from the watercourse**
 - Two bat boxes to be installed on suitable retained trees, details of which (location and design) shall be submitted to and approved in writing by the local planning authority and then installed in accordance with the approved details.**
 - A new roosting opportunity shall be incorporated into the design of the new extension, details of which (location and design) shall be submitted to and approved in writing by the local planning authority and then installed in accordance with the approved details.**
 - Two integrated Swift Nest Boxes (or similar) will be installed within the new extension, details of which (location and design) shall be submitted to and approved in writing by the local planning authority and then installed in accordance with the approved details.**

Reason: To protect and enhance biodiversity in accordance with the Wildlife and Countryside Act 1981, Habitat and Species Regulations 2017, NERC Act 2006, NPPF and Policy E5 of the Revised Test Valley Local Plan 2016.

- 5. External lighting will follow best practice guidelines outlined by the Bat Conservation Trust and the Institute of Lighting Professionals (Guidance note 08/18 Bats and artificial lighting in the UK). Prior to installation of any external lighting, a detailed lighting strategy for the construction and operation phase of the development shall be submitted to and approved in writing by the Local Planning Authority. Development shall subsequently proceed in accordance with any such approved details, with the approved lighting strategy maintained in perpetuity.**

Reason: To prevent disturbance to protected species in accordance with the National Planning Policy Framework and the Revised Test Valley Local Plan 2016.

- 6. Development shall proceed in accordance with the measures and times set out in section 3.17 of the Construction Environmental Management Plan (CEMP)**

Reason: In the interest of the amenities of local residents in accordance with Test Valley Borough Revised Local Plan (2016) Policy LHW4.

- 7. The development hereby approved shall be undertaken in full accordance with the provisions set out within the Arbor-Eco Consultancy Arboricultural Impact Assessment and Method Statement reference MB230120-01 dated February 2023.**

Reason: To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with Test Valley Borough Revised Local Plan policy E2.

Notes to Applicant:

- 1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
- 2. Bats and their roosts receive strict legal protection under the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017. All work must stop immediately if bats, or evidence of bat presence (e.g. droppings, bat carcasses or insect remains), are encountered at any point during the development. Should this occur, further advice should be sought from Natural England and/or a professional ecologist.**

The Officers recommendation as per the agenda and update paper was proposed by Councillor M Cooper and seconded by Councillor A Dowden. Upon being put to the vote the motion was carried.

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23/00558/FULLS

APPLICATION NO.	23/00558/FULLS
APPLICATION TYPE	FULL APPLICATION - SOUTH
REGISTERED	27.02.2023
APPLICANT	Mr S Morton
SITE	Woodcot, Yokesford Hill, Romsey, SO51 0PF, ROMSEY EXTRA
PROPOSAL	Change of use from residential (Class C3) to religious/community (Class F2)
AMENDMENTS	Received on 07.08.2023: <ul style="list-style-type: none">• Transport Statement. Received on 25.07.2023: <ul style="list-style-type: none">• Amended vehicle tracking diagrams and visibility splay drawing. Received on 28.04.2023: <ul style="list-style-type: none">• Planning statement addendum.
CASE OFFICER	Mr Graham Melton

PERMISSION subject to:

- 1. The development hereby permitted shall be begun within three years from the date of this permission.**

Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans:**

Site Location Plan

Site Layout (WPYB/01A)

Reason: For the avoidance of doubt and in the interests of proper planning.

- 3. The use of the building hereby approved shall only be used as a place of worship and religious instruction or a hall and meeting place for the principal use of the local community, and for no other purpose, including any other purpose in Class F2 of the Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020, or in any provision equivalent to that class in any statutory instrument revoking or re-enacting that Order without modification.**

Reason: In order that the Local Planning Authority can exercise control in the locality and in the interest of residential amenity, in accordance with Policies COM2 and LHW4 of the Test Valley Borough Revised Local Plan (2016).

- 4. The development hereby permitted shall be limited to the existing building with no more than 80 square metres (gross internal floor space) of the building subject of this permission shall be used as a meeting hall at any one time.**

Reason: To ensure sufficient off-street parking has been provided in accordance with Policies T1 and T2 of the Test Valley Borough Revised Local Plan (2016).

- 5. The development hereby permitted shall not be brought into use until 8 car parking spaces and associated turning space has been provided in accordance with the layout shown on the approved drawing reference Site Layout (WPYB/01A). The parking and turning shall be finished in a bonded material with provision for the drainage of surface water run-off. The area of land so provided shall be retained at all times for this purpose.**

Reason: To ensure sufficient off-street parking has been provided in accordance with Policies T1 and T2 of the Test Valley Borough Revised Local Plan (2016).

- 6. The existing hedgerow in the north-east corner of the application site, from the boundary with the footway to the front (north) elevation the building, on the approved Site Layout (WPYB/01A) plan shall be retained and maintained at a minimum height of 1 metre and any plants which die within a five year period shall be replaced in the next planting season after their failure, unless otherwise agreed in writing by the Local Planning Authority.**

Reason: To ensure maintenance of adequate screening of the allocated parking area from neighbouring properties to protect residential amenity in accordance with Policy LHW4 of the Test Valley Borough Revised Local Plan (2016).

- 7. The development hereby permitted shall not be brought into use until a scheme of biodiversity enhancement measures is submitted to and approved in writing by the Local Planning Authority. The approved measures shall be installed prior to first use and retained thereafter. Reason: To ensure the development achieves an enhancement of onsite biodiversity in accordance with Policy E5 of the Test Valley Borough Revised Local Plan (2016).**
- 8. No external lighting shall be installed until details have been submitted to and approved in writing by the Local Planning Authority. The details shall include plans and details sufficient to show the location, type, specification, luminance and angle of illumination of all lights/luminaires. The external lighting shall be installed in accordance with the approved details. Reason: To ensure the favourable conservation status of bats in accordance with Policy E5 of the Test Valley Borough Revised Local Plan (2016).**

Note to applicant:

- 1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**

The Officer's recommendation as per the agenda was proposed by Councillor M Cooper and seconded by Councillor A Dowden. Upon being put to the vote the motion was carried.

(The meeting terminated at 7.28pm)

ITEM 6

TEST VALLEY BOROUGH COUNCIL SOUTHERN AREA PLANNING COMMITTEE INFORMATION NOTES

Availability of Background Papers

Background papers may be inspected up to five working days before the date of the Committee meeting and for four years thereafter. Requests to inspect the background papers, most of which will be on the application file, should be made to the case officer named in the report or to the Development Manager. Although there is no legal provision for inspection of the application file before the report is placed on the agenda for the meeting, an earlier inspection may be agreed on application to the Head of Planning and Building.

Reasons for Committee Consideration

The majority of applications are determined by the Head of Planning and Building in accordance with the Council's Scheme of Delegation which is set out in the Council's Constitution. However, some applications are determined at the Area Planning Committees and this will happen if any of the following reasons apply:

- (a) Applications which are contrary to the provisions of an approved or draft development plan or other statement of approved planning policy where adverse representations have been received and which is recommended for approval.
- (b) Applications (excluding notifications) where a Member requests in writing, with reasons and within the Application Publicity Expiry Date, that they be submitted to Committee. A Member can withdraw this request at any time prior to the determination of the application to enable its determination under delegated powers.
- (c) Applications submitted by or on behalf of the Council, or any company in which the Council holds an interest, for its own developments except for the approval of minor developments.
- (d) Applications where the Head of Planning and Building Services recommends refusal of an application solely on the basis of failure to achieve nutrient neutrality where a Ward Member requests in writing, with reasons, within 72 hours of notification of the recommendation for refusal that they be submitted to Committee for determination. A Member can withdraw this request at any time prior to the determination of the application to enable its determination under delegated powers.
- (e) To determine applications (excluding applications for advertisement consent, certificates of lawfulness, listed building consent, and applications resulting from the withdrawal by condition of domestic permitted development rights;

Schedule 2, Part 1, Classes B, C, D, E, F, G, and H of the Town and Country Planning (General Permitted Development) (England) Order 2015 or as amended) on which a material planning objection(s) has been received within the Application Publicity Expiry Date and which cannot be resolved by negotiation or through the imposition of conditions and where the officer's recommendation is for approval, following consultation with the Ward Members, the latter having the right to request that the application be reported to Committee for decision.

Public Speaking at the Meeting

The Council has a public participation scheme, which invites members of the public, Parish Council representatives and applicants to address the Committee on applications. Full details of the scheme are available from Planning and Building Services or from Democratic Services at the Council Offices, Beech Hurst, Weyhill Road, Andover. Copies are usually sent to all those who have made representations. Anyone wishing to speak must book with the Democratic Services within the stipulated time period otherwise they will not be allowed to address the Committee.

Speakers are limited to a total of three minutes per item for Councillors on the Area Committee who have personal interests or where a Member has pre-determined his/her position on the relevant application, three minutes for the Parish Council, three minutes for all objectors, three minutes for all supporters and three minutes for the applicant/agent and relevant Ward Members who are not Committee Members will have a maximum of five minutes. Where there are multiple supporters or multiple objectors wishing to speak the Chairman may limit individual speakers to less than three minutes with a view to accommodating multiple speakers within the three minute time limit. Speakers may be asked questions by the Members of the Committee, but are not permitted to ask questions of others or to join in the debate. Speakers are not permitted to circulate or display plans, photographs, illustrations or textual material during the Committee meeting as any such material should be sent to the Members *and* officers in advance of the meeting to allow them time to consider the content.

Content of Officer's Report

It should be noted that the Officer's report will endeavour to include a summary of the relevant site characteristics, site history, policy issues, consultations carried out with both internal and external consultees and the public and then seek to make a professional judgement as to whether permission should be granted. However, the officer's report will usually summarise many of the issues, particularly consultations received from consultees and the public, and anyone wishing to see the full response must ask to consult the application file.

Status of Officer's Recommendations and Committee's Decisions

The recommendations contained in this report are made by the officers at the time the report was prepared. A different recommendation may be made at the meeting should circumstances change and the officer's recommendations may not be accepted by the Committee.

In order to facilitate debate in relation to an application, the Chairman will move the officer's recommendations in the report, which will be seconded by the Vice Chairman. Motions are debated by the Committee in accordance with the Council's Rules of Procedure. A binding decision is made only when the Committee has formally considered and voted in favour of a motion in relation to the application and, pursuant to that resolution, the decision notice has subsequently been issued by the Council.

Conditions and Reasons for Refusal

Suggested reasons for refusal and any conditions are set out in full in the officer's recommendation.

Officers or the Committee may add further reasons for refusal or conditions during the Committee meeting and Members may choose to refuse an application recommended for permission by the Officers or to permit an application recommended for refusal. In all cases, clear reasons will be given, by whoever is promoting the new condition or reason for refusal, to explain why the change is being made.

Decisions subject to Completion of a Planning Obligation

For some applications, a resolution is passed to grant planning permission subject to the completion of an appropriate planning obligation (often referred to as a Section 106 agreement). The obligation can restrict development or the use of the land, require operations or activities to be carried out, require the land to be used in a specified way or require payments to be made to the authority.

New developments will usually be required to contribute towards the infrastructure required to serve a site and to cater for additional demand created by any new development and its future occupants. Typically, such requirements include contributions to community facilities, village halls, parks and play areas, playing fields and improvements to roads, footpaths, cycleways and public transport.

Upon completion of the obligation, the Head of Planning and Building is delegated to grant permission subject to the listed conditions. However, it should be noted that the obligation usually has to be completed sufficiently in advance of the planning application determination date to allow the application to be issued. If this does not happen, the application may be refused for not resolving the issues required within the timescale set to deal with the application.

Deferred Applications

Applications may not be decided at the meeting for a number of reasons as follows:

- * The applicant may choose to withdraw the application. No further action would be taken on that proposal and the file is closed.
- * Officers may recommend deferral because the information requested or amended plans have not been approved or there is insufficient time for consultation on amendments.
- * The Committee may resolve to seek additional information or amendments.
- * The Committee may resolve to visit the site to assess the effect of the proposal on matters that are not clear from the plans or from the report. These site visits are not public meetings.

Visual Display of Plans and Photographs

Plans are included in the officers' reports in order to identify the site and its surroundings. The location plan will normally be the most up-to-date available from Ordnance Survey and to scale. The other plans are not a complete copy of the application plans and may not be to scale, particularly when they have been reduced from large size paper plans. If further information is needed or these plans are unclear please refer to the submitted application on the Council's website. Plans displayed at the meeting to assist the Members may include material additional to the written reports.

Photographs are used to illustrate particular points on most of the items and the officers usually take these. Photographs submitted in advance by applicants or objectors may be used at the discretion of the officers.

Human Rights

The European Convention on Human Rights ("ECHR") was brought into English Law, via the Human Rights Act 1998 ("HRA"), as from October 2000.

The HRA introduces an obligation on the Council to act consistently with the ECHR.

There are 2 Convention Rights likely to be most relevant to Planning Decisions:

- * Article 1 of the 1st Protocol - The Right to the Enjoyment of Property.
- * Article 8 - Right for Respect for Home, Privacy and Family Life.

It is important to note that these types of right are not unlimited - although in accordance with the EU concept of "proportionality", any interference with these rights must be sanctioned by Law (e.g. by the Town & Country Planning Acts) and must go no further than necessary.

Essentially, private interests must be weighed against the wider public interest and against competing private interests. Such a balancing exercise is already implicit in the decision making processes of the Committee. However, Members must specifically bear Human Rights issues in mind when reaching decisions on all planning applications and enforcement action.

The Natural Environment and Rural Communities (NERC) Act 2006 and Environment Act 2021

The Council has a duty under the Environment Act 2021, from the 1st January 2023, to ensure consideration is given to what can be done to conserve and enhance biodiversity through the exercise of its functions, agree policies and specific objectives based on those considerations and to act to deliver these policies and achieve objectives.

Previously the Council had a duty under the Natural Environment and Rural Communities Act 2006 as follows: "*every public authority must, in exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity*".

It is considered that this duty has been properly addressed within the process leading up to the formulation of the policies in the Revised Local Plan. Further regard is had in relation to specific planning applications through completion of the biodiversity checklists for validation, scoping and/or submission of Environmental Statements and any statutory consultations with relevant conservation bodies on biodiversity aspects of the proposals. Provided any recommendations arising from these processes are secured either by condition or, where appropriate, legal Obligation as part of any grant of planning permission (or included in reasons for refusal of any planning application) then the duty to ensure that biodiversity interest has been conserved and enhanced, as far as practically possible, will be considered to have been met.

Other Legislation

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that determination of applications be made in accordance with the Development Plan unless material considerations indicate otherwise. The Development Plan for the Borough comprises the Test Valley Borough Revised Local Plan (2016), and 'made' Neighbourhood Plans. Material considerations are defined by Case Law and includes, amongst other things, draft Development Plan Documents (DPD), Supplementary Planning Documents (SPD) and other relevant guidance including Development Briefs, Government advice, amenity considerations, crime and community safety, traffic generation and safety.

In July 2021 the Government published a revised National Planning Policy Framework (NPPF). The revised NPPF replaced and superseded the previous NPPF published in 2018. The revised NPPF is a material consideration in planning decisions.

So that sustainable development is pursued in a positive way, at the heart of the revised NPPF is a presumption in favour of sustainable development. Decisions should apply a presumption in favour of sustainable development. This does not change the statutory status of the development plan as a starting point for decision making. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. Where a planning application conflicts with an up to date development plan, permission should not usually be granted. Local planning authorities may take decisions which depart from an up to date development plan, but only if material considerations in a particular case indicate that the plan should not be followed.

For decision-taking, applying the presumption in favour of sustainable development means:

- Approving development proposals that accord with an up to date development plan without delay; or
- Where there are no relevant development plan policies, or the policies which are most important for determining the application are out of date, granting permission unless:
 - The application of policies in the revised NPPF that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
 - Any adverse impact of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the revised NPPF when taken as a whole.

Existing Local Plan policies should not be considered out of date because they were adopted prior to the publication of the revised NPPF. Due weight should be given to them, according to their degree of consistency with the revised NPPF (the closer the policies in the Local Plan to the policies in the revised NPPF, the greater the weight that may be given).

ITEM 7

APPLICATION NO.	23/00805/FULLS
APPLICATION TYPE	FULL APPLICATION - SOUTH
REGISTERED	30.03.2023
APPLICANT	The Romsey School
SITE	The Romsey School, Greatbridge Road, Romsey, SO51 8ZB, ROMSEY TOWN
PROPOSAL	Removal of hedgerow, trees and 10 car parking bays to facilitate bus bay, and installation of 15 car parking bays along northern boundary and planting
AMENDMENTS	As per those detailed on the SAPC 15 th August 2023 report to members
CASE OFFICER	Kate Levey

Background paper (Local Government Act 1972 Section 100D)

[Click here to view application](#)

1.0 INTRODUCTION

1.1 The application was most recently considered by Southern Area Planning Committee (SAPC), at the request of a local ward member, on 20th September 2022 when it was resolved to:

DEFER consideration of the application to enable Officers to undertake further discussion with the applicant to consider:

- Noise impact of the proposed parking bays and removal of hedge adjacent to properties in Priestlands.
- The harm associated with the removal of the planting on the northern boundary of the site and its impact on the visual amenities of properties in Priestlands.

1.2 The Officer report presented to members previously at the meeting of 15th August 2023 is attached at Appendix A. The update paper for this meeting is attached at Appendix B.

2.0 ADDITIONAL CONSULTATIONS

2.1 **Environmental Protection:** no objection, as follows:

I do not consider that the hedge will be providing any notable acoustic benefit for the following reasons:

- It is not an imperforate (solid) barrier of sufficient density to impact on travel of sound,
- Neighbouring houses exceed the hedge in height,
- There is evidence to show that people are subjectively less concerned about sources of noise where they cannot see them, removal of the hedge does not appear to render activities at the school site more visible to the neighbours.

I would also note that there are a number of other nearby parking spaces, and an access route through the school grounds, from which any activities would also be audible. As such the proposed new spaces would be unlikely to significantly change the existing noise environment.

I can see that neighbours may be concerned about the proposal bringing parking spaces closer to their boundary and would suggest that the school could consider restricting the allocation or use of these spaces to reduce the number of movements from them.

3.0 **PLANNING CONSIDERATIONS**

3.1 The previous report to SAPC on 15th August 2023 addressed the main issues and concludes that the proposed development is considered acceptable and in compliance with the Test Valley Borough Local Plan 2016 (RLP). The following list provides the paragraph references for other material considerations in the original Officer's report to SAPC and associated recommendation, that remain unchanged:

- Character and appearance (paragraphs 8.3 – 8.6)
- Arboriculture (paragraphs 8.7 – 8.9)
- Biodiversity (paragraphs 8.10 – 8.12)
- Amenity (paragraph 8.13)
- Parking provision and highways (paragraph 8.14 – 8.17)
- Other matters – third party comments (paragraph 8.18)

3.2 This report does not alter the position as previously put forward in the original report for those matters identified above.

3.3 Impact of noise on neighbouring properties

Having regard to the reason for deferment from an earlier SAPC meeting and the advice of the Council's Environment and Health Officer the proposal would not give rise to an adverse effect on the living conditions of neighbouring properties in Priestlands. The recommendation remains unchanged in this respect.

3.4 Impact on visual amenities of properties on Priestlands as a result of loss of hedgerow on northern boundary

The case officer has had sight of several emails from the Chair of Trustees of the Gateway Trust to neighbours along the northern boundary. It is understood that the work to remove the hedge commenced on 29th August and that qualified tree surgeons have been engaged. It is further understood that an ecologist was on site to ensure the safe removal of the hedge. The removal of the hedge along the northern boundary was carried out without the requirement for planning permission.

3.5 Public views of the hedge were not possible from the site entrance at Priestlands due to its location and the presence of intervening buildings. As such, any views of this hedge were private and not of a wider public benefit. As such, the removal of the hedge is considered to have had a neutral impact to the character and appearance of the area, and while appreciating that residents

of Priestlands may appreciate a change in their private outlook onto the school grounds by the hedgerow loss this is not a planning matter and it is recommended that no weight is afforded to this matter when considering the planning merits of the proposal.

4.0 **RECOMMENDATION**

PERMISSION subject to:

1. **The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 28153-PD200 A, 28153-PD201 A, 28153-PD202 E, 28153-PD199, 28153-PD206, 28153-PD203B, 28153-PD204B.
Reason: For the avoidance of doubt and in the interests of proper planning.**
2. **The bus bay and parking spaces along the northern boundary hereby permitted shall not be occupied until space has been laid out and provided as appropriate for the intended use, in accordance with the approved plan (28153 – PD202C) and this space shall thereafter be reserved for such purposes at all times.
Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.**
3. **Notwithstanding details already submitted on the submitted mitigation planting plan, a planting plan, detailing tree and hedgerow species, sizes and numbers, locations and densities of planting shall be submitted to and agreed by the Local Planning Authority. Hedgerow planting shall be native, and details to be submitted to the Local Planning Authority shall include percentage mix of hedgerow species. The new trees and hedgerows, as detailed, shall be planted in the approved positions in the first planting season following the completion of the development. These must be planted in accordance with the recommendations in BS8545 (2014) Trees: from nursery to independence in the landscape - Recommendations. If any of the proposed trees or hedgerow die following planting, they shall be replaced with similar species in similar positions within six months of the death of each specimen.
Reason: To ensure the continuation of canopy cover in the area and enhance the development.**
4. **Prior to first use of the bus bay or the parking spaces along the northern boundary hereby permitted, a schedule of landscape management and maintenance for a minimum period of 5 years shall be submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall include long term design objectives, management responsibilities and maintenance schedules for all landscape areas. The landscaping shall be maintained in accordance with the approved schedule. Any trees or planting that are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective within this period, shall be replaced before the end of the current or first available planting season following the failure, removal or damage of the planting.**

Reason: To enable the development to respect, complement and positively integrate into the character of the area in accordance with Test Valley Borough Revised Local Plan (2016) Policies E1 and E2.

5. **Development shall proceed in accordance with the measures set out in Section 5 of the EIA by ECOSA (March 2023), the Construction Environmental Management Plan (CEMP) and proposed plan (Drawing number 28153- PD203A).**

Reason: To protect and enhance biodiversity in accordance with the Wildlife and Countryside Act 1981, Habitat and Species Regulations 2017, NERC Act 2006, NPPF and Policy E5 of the Revised Test Valley Local Plan 2016.

6. **No external lighting shall be installed unless in accordance with details that have been submitted to and approved in writing by the local planning authority. The details shall include plans and details sufficient to show the location, type, specification, luminance and angle of illumination of all lights and a light spread diagram**

Reason: To safeguard the amenities of the area and To prevent disturbance to protected species in accordance with the National Planning Policy Framework and policy E5 the Revised Test Valley Local Plan 2016.

7. **No machinery shall be operated, no process shall be carried out and no deliveries taken at or despatched from the site outside the following times 07:30 – 18:00; nor at any time on Sundays, Bank or Public Holidays.**

Reason: In the interest of the amenities of local residents in accordance with Test Valley Borough Revised Local Plan (2016) Policy LHW4.

Notes to applicant:

1. **In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
 2. **Bats and their roosts receive strict legal protection under the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017. All work must stop immediately if bats, or evidence of bat presence (e.g. droppings, bat carcasses or insect remains), are encountered at any point during this development. Should this occur, further advice should be sought from Natural England and/or a professional ecologist.**
-

Appendix A – Report to Southern Area Planning Committee 15th August 2023

APPLICATION NO.	23/00805/FULLS
APPLICATION TYPE	FULL APPLICATION - SOUTH
REGISTERED	30.03.2023
APPLICANT	The Romsey School
SITE	The Romsey School, Greatbridge Road, Romsey, SO51 8ZB, ROMSEY TOWN
PROPOSAL	Removal of hedgerow, trees and 10 car parking bays to facilitate bus bay, and installation of 15 car parking bays along northern boundary and planting
AMENDMENTS	12 th June 2023 – amended construction environmental management plan received 31 May 2023 – Update to description of development 26 May 2023 – amended plans received to remove the fence along the northern site boundary. Vehicle access plan and CEMP received
CASE OFFICER	Kate Levey

Background paper (Local Government Act 1972 Section 100D)

[Click here to view application](#)

1.0 INTRODUCTION

1.1 The application has been called to Southern Area Planning Committee at the request of a member.

2.0 SITE LOCATION AND DESCRIPTION

2.1 The Romsey School is a large school within the Romsey settlement boundary. The main entrance to the school is from the north east corner via Priestlands.

3.0 PROPOSAL

3.1 This proposal is for removal of hedgerow, trees and 10 car parking bays to facilitate bus bay, and installation of 15 car parking bays along the northern boundary, including removal of planting along this boundary.

3.2 The application originally proposed the removal of all of the hedging aligning the front (north east) boundary of the site adjacent to Priestlands, and replacing it with security fencing. However, this element has since been removed from the scheme and the description of development updated accordingly. The existing hedge along this boundary is to be retained.

4.0 HISTORY

4.1 23/00804/FULLS Demolish garage, timber shed and two lean-to structures, construct single storey extension to the retained building – Decision Pending.

4.2 23/00008/FULLS Replacement of raised pedestrian timber walkway, connecting two school blocks, with external fire escape staircase added to structure. Permission subject to conditions and notes 17.03.2023.

- 4.3 22/01212/FULLS Erection of single-storey extension to South Building to provide 3 additional SEND classrooms, 2 therapy rooms and ancillary staff offices; insert new window at ground floor on Western elevation; related external works and landscaping. Permission subject to conditions and notes 23.06.2022.
- 4.4 19/00129/FULLS Erection of storage and social shed; alterations to existing washroom (part retrospective). Permission subject to conditions and notes 27.02.2019.
- 4.5 16/02108/FULLS Erection of 7.2m x 4.2m pre-fabricated building and erection of 1.8m x 2.6m accessible washroom attached to 'Company House'. Permission subject to conditions and notes 06.12.2016.
- 4.6 14/01294/FULLS Campus Remodelling Work; extension to Performing Arts Block to provide additional music classroom and associated support areas, extension to West Block to provide additional technology classroom & associated support areas, extension to Sports Hall to provide changing room, vocational studies and conference facility, and extension and external recladding works to Inclusion Facility. Permission subject to conditions and notes 10.12.2014.

5.0 **CONSULTATIONS**

5.1 **Trees:** no objection subject to condition

5.2 **Ecology:** no objection subject to condition

5.3 **Landscape:** no objection subject to conditions

5.4 **HCC Archaeology:** No comment

In view of the limited scale of impact and the degree to which the existing school development will have compromised the archaeological potential of this location, I would not raise any archaeological issues.

5.5 **HCC Highways:** No objection

5.6 **Southern Gas:** At the time of writing this report no response has been received.

6.0 **REPRESENTATIONS** Expired 15.06.2023

6.1 **Romsey Town Council:** Object

- RTC would like to see a substantive application with proposed mitigation of planting of mixed native hedgerow on the boundary
- The loss of the hedgerow at the front of the site would be detrimental to the character and appearance of the area
- Potential for impact on RPAs of trees within the school and resident's gardens
- An impervious surface should be used for car parking
- Potential for damage to neighbour's fences
- RTC regrets apparent lack of consultation with immediate neighbours
- Potential overhang of neighbour's trees above parked cars may lead to requests to prune

- Not convinced that increasing car park spaces and provision of a bus bay will result in reduced traffic
- A construction environmental management plan should be submitted

6.2 **Romsey and District Society:** Comment (summarised)

- The application should be updated to include additional areas for construction access, materials storage or site offices
- Construction traffic will be in close proximity to school children and pedestrians and a construction traffic management plan should be available

6.3 **Letters:** The application generated 11 letters of objection. A summary of the points raised are set out below:

Character and appearance of the area

- Installation of the fence along the north (front) boundary of the site will result in removal of large hedgerow and trees
- The fence would be ugly
- The school have removed yew hedging adjacent and replaced it with Euroguard fencing and black mesh and this should be changed back to hedging
- The existing hedges at the front of the school should be retained

Amenity

- Loss of privacy for houses backing onto the school
- Increased noise and pollution levels for neighbouring properties
- The proposal does not accord with policy LHW4

Traffic and parking

- There is a lot of traffic generated by parents dropping off and collecting children
- A drop off point could be facilitated on the Greatbridge Road trading estate
- The increase in car parking does not seem appropriate when it is important to cut car use and support sustainable transport
- Consideration should be given to providing 10 car parking spaces not 15 to allow tree 8 and hedgerow H2 to be retained
- The width of the car park bays should allow doors to be opened without damaging neighbours fences

Biodiversity

- Concern about biodiversity loss, loss of green corridor and bats
- Revised guidance is to be published in April by the Institute of Lighting Professionals and Bat Conservation Trust
- The proposal does not accord with policy E5
- Disagree with statements in the Construction Environmental Management Plan
- The mitigation measures proposed elsewhere on the site do not prevent fragmentation of the green infrastructure and biodiversity networks

- The proposal does not contribute to central Government's carbon reduction objectives

Arboriculture

- The creation of hard standing parking bays would damage tree RPAs
 - A large sycamore tree has been removed and should have been replaced
 - Trees and bushes will be removed to facilitate the bus bay and along the north boundary
 - Trees to be removed should be replaced in situ or as close as possible
 - The proposal does not accord with policy E2
 - Some of the hedgerow at the front of the school was removed recently
- The application does not accord with policy E6.

Consultation

- Disappointed not to have been consulted by the school at an earlier stage out of courtesy

Safety

- The existing hedge is better for security rather than a fence

Other matters

- This application should be linked to the other application (assumed to be 23/00804/FULLS Demolish garage, timber shed and two lean-to structures, construct single storey extension to the retained building (pending consideration)
- Loss of hedging to impermeable surface will increase run off
- (Occupier of 29 Priestlands, Romsey) uses the rear room of the house as a hypnotherapy clinic and additional noise will make this difficult to continue
- Concerned about potential damage from parked cars and maintenance of fence
- Concerned about compromised security to neighbours backing onto the school
- The school should communicate with the neighbours about proposals
- Mitigating measures should be implemented and monitored for compliance
- The amendment to the application to remove the fencing at the front of the site is welcomed, however this change is not reflected in the design and access statement at paragraphs 3.1 and 4.1
- Consideration should be given to 10 car parking spaces rather than 15 which would allow more trees to be retained
- Neighbours should be given a schedule of works, contact details and advance warning of deliveries
- Who is responsible for monitoring and compliance of ecological and arboricultural matters

7.0 **POLICY**

7.1 Government Guidance

National Planning Policy Framework (NPPF)

National Planning Practice Guidance (NPPG)

Conservation of Habitats and Species Regulations 2017 (as amended).

7.2 Test Valley Borough Revised Local Plan (2016)(TVBRLP)

COM2: Settlement hierarchy

E1: High quality development in the Borough

E2: Protect, Conserve and Enhance the Landscape Character of the Borough

E5: Biodiversity

E8: Pollution

LHW4: Amenity

T1: Managing movement

T2: Parking provision

7.3 Supplementary Planning Documents (SPD)

Romsey Town Design Statement – Area 9 Romsey Town Centre Outer Core

8.0 **PLANNING CONSIDERATIONS**

8.1 The main planning considerations are:

- Principle of development
- Character and appearance of the area
- Arboriculture
- Biodiversity
- Neighbouring amenity
- Highways
- Parking provision

8.2 **Principle of development**

The site lies within the settlement boundary as defined on the Inset Maps of the TVBRLP. In accordance with Policy COM2 of the TVBRLP development is permitted provided the proposal is appropriate to other policies of the Revised Local Plan. The proposal is assessed against relevant policies below.

8.3 **Character and appearance of the area**

The Romsey School is an established educational facility within the town of Romsey. The proposed works are located within the northern part of the site, whereby the majority of public views would be via the existing entrance gates into the site from Priestlands. Short and medium distance views into the northern part of the site may also be possible from the rear gardens of properties along Cherville Street. Short distance views of the very northern part of the site are possible from the rear gardens of properties 1 – 35 Priestlands.

8.4 Provision of bus bay

The proposal includes removal of 10 existing car parking spaces and a hedge to make space for a bus bay within the site. Views of this area of the site from

public vantage points from Priestlands are at an oblique angle and there is already hard standing in this location. The removal of the hedgerow and trees in this location is necessary in order that the bus bay can be made wide enough to facilitate the parking of a bus and for widening of the adjacent footpath. Given the low height of this hedge and limited public view of this part of the site, it is not considered on balance that this element of the scheme would have a significant adverse impact on the character and appearance of the surrounding area. Furthermore, public viewpoints of the bus bay would be seen in the context of the wider school setting, as such it is considered that this part of the proposal would result in a neutral impact upon the character of the area.

8.5 Provision of car parking bays

The proposal also includes provision of 15 car parking bays along the northern boundary for staff car parking, which would result in the loss of a hedgerow and two trees along this boundary. Given the positioning of this hedge, views of it from the public realm are limited. Any views from rear gardens of 1 – 35 Priestlands are private views and not public. It is not considered that this element of the proposed development would have a significant adverse impact on the character and appearance of the surrounding area.

- 8.6 For the reasons discussed above, it is considered that the development does not give rise to an adverse impact on the character and appearance of the area and the proposal is in accordance with policy E1 of the Revised Local Plan.

The application originally proposed the removal of all of the hedging to the front (north east) boundary of the site adjacent to Priestlands, and replacement with security fencing. This element has since been removed from the scheme and the description of development updated accordingly. The existing hedge along this boundary will be retained as shown on plan reference 28153 – PD203 A.

8.7 **Arboriculture**

The application is supported by an arboricultural report and tree survey (Arbor-eco consultancy, February 2023). This report identifies that one category B, five category C, 3 category U individual trees, three hedges and one group of trees would need to be removed to facilitate the proposed development. However, since the application was submitted, the proposal now seeks to retain one of the hedges and so the proposal seeks to remove only two hedges elsewhere within the site. During the case officer's visit to the site it was noted that category 'B' tree T26 and category 'U' tree T27 had been felled, however, these were not protected trees and therefore did not require consent from the Local Planning Authority before their removal. The remaining trees within the site are also not protected, nor are they considered worthy of a Tree Preservation Order. However, their retention is not without merit and the trees identified for removal do provide some limited public amenity value particularly as softening and screening within the context of the school. There would be some short to medium term harm as a result of the loss of these trees and hedges, but replacement planting could mitigate for the loss of these trees. As such, the loss of the two hedges and trees to facilitate the proposal is considered to be acceptable, subject to additional landscaping and planting being secured via condition within the site.

- 8.8 The submitted planning statement sets out a site wide replanting scheme with planting of 50 new sapling trees, 20 established trees as well as a 420 sapling hedgerow. A subsequent email from the applicant's agent sets out that the established trees being planted will initially be 1.5 metres – 2 metres tall and they will grow to between 5 metres – 10 metres in height. The trees will be a mix of silver birch/yew/cherry blossom. The sapling trees will be a mix of silver birch/wild cherry/rowan/crab apple/downy birch and will again grow to 5 metres – 10 metres in height. The hedge species will be a mix of hawthorn, hazel, wild cherry and these are to be planted as saplings, but will grow to around 2 metres - 3 metres. The saplings will be planted intertwined with the more established trees being planted in their own areas. An indicative plan showing mitigation planting has also been submitted, and this shows locations of the 20 established trees, sapling trees and hedges proposed. The plan shows the intentions of the applicant and also demonstrates that there is sufficient space within the site to plant replacement trees. The plan is indicative only and accordingly, a condition has been recommended on this application such that a detailed planting plan shall be submitted. A further condition regarding schedule of landscape management and maintenance for a minimum period of 5 years is also recommended.
- 8.9 The submitted arboricultural report is accompanied by additional information about protection of retained trees. The Arboricultural Officer is satisfied that the retained trees will be suitably protected as long as the tree protection measures detailed in the submitted arboricultural method statement and illustrated on the tree protection plan are implemented. Accordingly, conditions are recommended relating to the tree report and tree protection plan to ensure that it is installed and retained during the lifetime of the development. A further condition is recommended to ensure that the replacement planting is carried out within the first available planting season following the completion of the development. These conditions ensure that the proposal accords with policy E2 of the Revised Local Plan.
- 8.10 **Biodiversity**
The application is supported by an ecological impact assessment (Ecosa, March 2023) and also a Construction Environmental Management Plan. The site boundary is located 200 metres west of the River Test SSSI. The ecological assessment states that *'the habitats within the site are common and widespread within the wider landscape. The dominant habitats on site contains a low diversity of plant species and are of low ecological value. The hedgerows and scattered trees have the highest relative ecological value.'* The scattered trees observed on site were assessed as having negligible suitability to support roosting bats due to a lack of suitable features. However, there is some suitable habitat on site to support commuting and foraging bats. The report explains the reasoning why certain protected species are not deemed to be threatened by the development – these species are otter, badger, hazel dormouse, water vole, ground nesting or wintering bird species, reptiles, great crested newts, and invertebrates. Habitats present on the site are suitable for nesting birds and European hedgehog.

- 8.11 The report concludes that no direct impacts on the River Test SSSI. The report recommends that spill kits are used and that materials and machinery are stored as far away from the river as possible. This will protect against any accidental pollution to the River Test SSSI. The removal of vegetation is proposed to be compensated for by planting of 20 established trees within the wider site boundary. The ecological report states that the proposed mitigation planting will compensate for the loss of foraging and commuting habitat for bats. The removal of the hedgerows within the site will be mitigated for by the planting of additional hedgerow on the southern part of the site. The loss of the scattered trees, introduced shrubs and hedgerow on the site will result in a loss of breeding habitat for birds and could result in the disturbance and/or damage/destruction of an active nest. The removal of vegetation should be avoided during the bird nesting season and if this is not possible, then a qualified ecologist should inspect the vegetation prior to work taking place. Any identified active nests should be left undisturbed. Regarding hedgehogs, works should be timed to avoid the hibernation season but should hedgehog be encountered during the works, the hedgehog should be left alone and allowed to disperse on its own accord.
- 8.12 The Council's Ecologist has reviewed the ecological impact assessment and is satisfied that the report reflects the current condition of the site. Due to the proximity of the site to the River Test SSSI, a Construction Environmental Management Plan (CEMP) has been submitted and it is secured by condition that the measures within the CEMP are adhered to during the construction phase. Further conditions are recommended regarding external lighting and replacement planting. Subject to these conditions, it is considered that the proposal does not conflict with the objectives of policy E5.
- 8.13 **Amenity**
Due to the nature of the proposal and the fact that no buildings are proposed, there would be no impact to any neighbouring properties in terms of loss of daylight, sunlight or overbearing impact. An existing close board fence of 1.8 metres in height exists along the northern boundary of the site, which demarcates the boundary with 1 – 35 Priestlands. As such, the loss of the hedge adjacent to this close board fence within the site would not result in loss of privacy to these neighbouring properties. Consideration has been given to potential noise impacts generated by vehicle parking and manoeuvring adjacent to the boundary fence with 1 – 35 Priestlands. The proposed spaces along the northern boundary will be used for staff parking only, and so vehicle movements in and out of the proposed car parking spaces are likely to be minimal and reduced to staff working hours. There is separate visitor parking available near reception which would be used on an ad-hoc basis. This visitor parking is located in excess of 30 metres away from the nearest residential property whereby frequent use of the visitor parking facilities is not anticipated to generate a harmful noise or pollution impact. For these reasons, the scheme is considered to accord with Policies E8 and LHW4 of the Revised Local Plan.

8.14 Parking provision and highways

The proposal seeks to continue utilising the main school entrance access and exit points onto Priestlands. Submitted drawing reference 28153 – PD200A demonstrates the traffic circulation route around the site, whereby a one-way system would be used to access the bus bay and proposed parking spaces. A Construction Traffic Management Plan (CTMP) and a Construction Environmental Management Plan (CEMP) have been submitted. It has been demonstrated that access for construction traffic would be via the main school entrance. The likely vehicle types accessing the site during the construction phase are 3.5 tonne flatbed trucks, 3 tonne pickup trucks, 3.5 tonne van and 32 tonne tipper lorry. Temporary barriers will be placed around the site so pedestrians are unable to access certain areas which could be unsafe. The HCC Highways Officer has reviewed the proposal and the CTMP and has raised no objection. A condition is recommended such that the measures within the CTMP are adhered to during the construction process. Subject to this condition, the proposal is considered to accord with policy T1 of the Revised Local Plan.

8.15 The proposal does not result in a requirement for additional pupils to be enrolled at the school, or for additional staff to be employed. The proposal would result in a net increase of 5 spaces within the northern part of the site. As a result, there would be a total of 140 parking bays across the whole site. Parking provisions should be made in accordance with onsite school parking guidelines prepared by Hampshire County Council. The agent has explained that the school has 77 teachers and 105 non-teaching staff and the guidance suggests 147 spaces for the site. Currently there are 137 spaces across the site which is a shortfall. However, the proposal includes provision of a net increase of spaces. On balance it is considered that there is sufficient parking available on site. The parking guidelines explain that for bays parallel to, or abutting, a carriageway, aisle or drive the preferred size should be 6.0m x 2.5m to allow vehicles to manoeuvre into the bay when adjoining bays are occupied. The proposed parking bays along the northern part of the site meet these requirements.

8.16 The County Highways Officer has assessed the proposals in terms of highway safety and raises no objection to the proposal. The proposal includes sufficient parking provision, and this on-site provision reduces the impact upon the highway network. However, to ensure that the highway network is protected, conditions are recommended which require the parking spaces to be laid in advance of first use, and retained in perpetuity. Subject to this condition, the proposal is considered to be in accordance with policies T1 and T2 of the Revised Local Plan.

8.17 Third party comments about the provision of a drop off point on the Greatbridge Road trading estate are noted. This land is outside of the application site and any such potential arrangements would be a private, civil matter between the land owner and the school.

8.18 Other matters – third party comments

- Third party comments have been received about not being consulted by the school, however, this is not a requirement prior to submitting the application.

- Comments received state that this application should be linked to the other application (assumed to be 23/00804/FULLS 'Demolish garage, timber shed and two lean-to structures, construct single storey extension to the retained building'. Application 23/00804/FULLS is still pending consideration, and will be assessed on its own merits.
- Third party concern has been raised about loss of hedging to impermeable surface and associated increase in run off. However, given the modest scale of these elements and the retention of the open field areas, it is not considered that there will be any materially significant increase in flood risk or surface water flooding. As a result, the application is in accordance with Policy E7.
- Concern has been raised about potential damage to parked cars and maintenance of the fence. However, these are private civil matters which can be afforded no weight.
- Concern has been raised about compromised security to neighbours backing onto the school. However, there is an existing close board fence which is proposed to be retained between the school and the neighbouring properties within Priestlands. Furthermore, there is natural surveillance from habitable rooms of existing properties within Priestlands. It is considered that the proposal does not give rise to an adverse impact in terms of facilitating crime.
- Third party concern has been raised about the removal of yew hedging and replacement with Euroguard fencing and black mesh. However, this land is outside of the application site boundary and not a consideration under this application.
- Comments received state that the design and access statement still includes provision of fencing. The fact that the design and access statement has not been updated is acknowledged, however, the fence originally proposed is not shown on the approved plan and the existing hedge is shown for retention. An approved plan condition is included and this will clearly stipulate which plans development must be undertaken in accordance with.
- Comments have been received about installation of 10 car parking spaces rather than 15 which could allow more trees to be retained. However, the application needs to be assessed on its own merits and on the basis of the submission.
- Comments have been received about a schedule of works, contact details and advance warning of deliveries being provided to the neighbours, however, these matters are not within control of the LPA and are civil matters.
- Comments have been received about measures within ecological and arboricultural reports being adhered to. Ultimately it is the applicant's responsibility to ensure that measures secured by condition are adhered to and the applicant is bound by the habitats regulations. If the conditions are not adhered to, then the matter can be passed to planning enforcement to investigate.

9.0 **CONCLUSION**

- 9.1 The proposed scheme is considered to accord with the Test Valley Borough Revised Local Plan (2016) and is therefore acceptable.

10.0 RECOMMENDATION

PERMISSION subject to:

1. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers
28153-PD200 A, 28153-PD201 A, 28153-PD202 C, 28153-PD199, 28153-PD206, 28153-PD203A, 28153-PD204A
Reason: For the avoidance of doubt and in the interests of proper planning.
2. The bus bay and parking spaces along the northern boundary hereby permitted shall not be occupied until space has been laid out and provided as appropriate for the intended use, in accordance with the approved plan (28153 – PD202C) and this space shall thereafter be reserved for such purposes at all times.
Reason: In the interests of highway safety in accordance with Test Valley Borough Revised Local Plan (2016) Policy T1.
3. Notwithstanding details already submitted on the submitted mitigation planting plan, a planting plan, detailing tree and hedgerow species, sizes and numbers, locations and densities of planting shall be submitted to and agreed by the Local Planning Authority. Hedgerow planting shall be native, and details to be submitted to the Local Planning Authority shall include percentage mix of hedgerow species. The new trees and hedgerows, as detailed, shall be planted in the approved positions in the first planting season following the completion of the development. These must be planted in accordance with the recommendations in BS8545 (2014) Trees: from nursery to independence in the landscape - Recommendations. If any of the proposed trees or hedgerow die following planting, they shall be replaced with similar species in similar positions within six months of the death of each specimen.
Reason: To ensure the continuation of canopy cover in the area and enhance the development.
4. Prior to first use of the bus bay or the parking spaces along the northern boundary hereby permitted, a schedule of landscape management and maintenance for a minimum period of 5 years shall be submitted to and approved in writing by the Local Planning Authority. The landscape management plan shall include long term design objectives, management responsibilities and maintenance schedules for all landscape areas. The landscaping shall be maintained in accordance with the approved schedule. Any trees or planting that are removed, die or become, in the opinion of the Local Planning Authority, seriously damaged or defective within this period, shall be replaced before the end of the current or first available planting season following the failure, removal or damage of the planting.

Reason: To enable the development to respect, complement and positively integrate into the character of the area in accordance with Test Valley Borough Revised Local Plan (2016) Policies E1 and E2.

5. **Development shall proceed in accordance with the measures set out in Section 5 of the EIA by ECOSA (March 2023), the Construction Environmental Management Plan (CEMP) and proposed plan (Drawing number 28153- PD203A).**

Reason: To protect and enhance biodiversity in accordance with the Wildlife and Countryside Act 1981, Habitat and Species Regulations 2017, NERC Act 2006, NPPF and Policy E5 of the Revised Test Valley Local Plan 2016.

6. **No external lighting shall be installed unless in accordance with details that have been submitted to and approved in writing by the local planning authority. The details shall include plans and details sufficient to show the location, type, specification, luminance and angle of illumination of all lights and a light spread diagram**

Reason: To safeguard the amenities of the area and To prevent disturbance to protected species in accordance with the National Planning Policy Framework and policy E5 the Revised Test Valley Local Plan 2016.

7. **No machinery shall be operated, no process shall be carried out and no deliveries taken at or despatched from the site outside the following times 07:30 – 18:00; nor at any time on Sundays, Bank or Public Holidays.**

Reason: In the interest of the amenities of local residents in accordance with Test Valley Borough Revised Local Plan (2016) Policy LHW4.

Notes to applicant:

1. **In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
 2. **Bats and their roosts receive strict legal protection under the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2017. All work must stop immediately if bats, or evidence of bat presence (e.g. droppings, bat carcasses or insect remains), are encountered at any point during this development. Should this occur, further advice should be sought from Natural England and/or a professional ecologist.**
-

Appendix B – Update Paper to Southern Area Planning Committee on 15th August 2023

APPLICATION NO.	23/00805/FULLS
SITE	The Romsey School, Greatbridge Road, Romsey
COMMITTEE DATE	15 August 2023
ITEM NO.	8
PAGE NO.	45 - 62

1.0 A viewing panel was scheduled to take place on Friday 11 August, however, due to a traffic incident on the M27 the viewing panel was aborted due to difficulties in getting to the site due to heavy traffic. The viewing panel has been arranged for 15 August 2023 at 16:00hrs. A verbal update on the attendees will be provided at the Southern Area Planning Committee meeting.

2.0 An additional statement has been submitted by the agent and is summarised below:

- We believe that most of the works for this application fall under permitted development
- The longer area of car parking on the northern boundary is over 50sqm, so one application has been submitted
- The vegetation is not protected to our knowledge
- The fencing is also permitted development
- The school must comply with safeguarding measures
- The car parking on the north boundary is required to stop overspill onto neighbouring residential streets
- An extensive re-planting scheme has been submitted
- Works to the entrance area would have proved difficult to keep construction staff and pupils separated

2.1 Case Officer notes:

There was previously red Euroguard fencing abutting the pedestrian access at the entrance to the school, new green Euroguard fencing has been erected to allow for the widening of the pedestrian access, so the fence will be set further back from the road. As this is a replacement fence of the same height, planning permission would not be required in its own right, although it is included on the proposed site plan 28153-PD202 E.

With regard to removal of vegetation, the school engages the services of a tree surgeon and they have a tree management plan. They were advised that these trees needed to be taken down. They are not protected trees, not in a conservation area so no consent was required to fell.

With regards to the works to the bus lane, this was previously used for car parking spaces. There is provision in the General Permitted Development Order, Schedule 2, Part 7. Class N for “The replacement in whole or in part” of hard surfaces within the curtilages of schools.

In summary, having visited the site with an enforcement officer, there is no reason to doubt the additional statement submitted by the agent regarding works which are currently being undertaken on the site being permitted development.

- 3.0 Amended plans have been received (plan references 28153-PD204B, 28153-PD202E, 28153-PD203B) which reflect the installation of the EuroGuard fencing along the north of the pedestrian access gate adjacent to Priestlands and reconfiguration of the widening of the pedestrian access.

Condition 1 is to be updated as below.

4.0 **RECOMMENDATION**

RECOMMENDATION as per the main agenda subject to revised condition 1 and conditions and notes as per the main agenda:

AMENDED CONDITION

- 1. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 28153-PD200 A, 28153-PD201 A, 28153-PD202 E, 28153-PD199, 28153-PD206, 28153-PD203B, 28153-PD204B
Reason: For the avoidance of doubt and in the interests of proper planning.**

Appendix A



From: Heather McCrudden [redacted]
Sent: 07 August 2023 17:44
To: Levey, Kate <KLevey@testvalley.gov.uk>; Jamie Fall [redacted]
Cc: Ross Nunn <[redacted]>
Subject: RE: Romsey School 23/00805/FULLS

Caution: This email originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Kate

Please find attached the revised plans as requested. Since your last email, the school have received another one from the enforcement officer to advise that permitted development rights for schools allow 2m fences adjacent the highway, please see attached email.

As previously discussed, we believe that most of the works for this application fall under permitted development, however due to the longer area of car parking on the Northern boundary and it being over 50sqm, we felt it was easier to submit under one application for planning rather than split between lawful development and planning applications. The vegetation is not protected to our knowledge, so we feel any removal falls under permitted development and as confirmed by the enforcement officer the fencing is also permitted development. The school must comply with safeguarding measures with the entrance area being noted as not being secure, the school therefore must have these rectified by the new school term hence they have started the works to the fencing and resurfacing of the front of the site to allow for secure drop offs by constructing the bus bay. The car parking on the Northern boundary is required to stop overspill into neighbouring residential streets and is in the most economic and practical location for the school. It is also located away from where children will be located to avoid any health & safety hazards. To compensate for the lost of vegetation in this area, the school has submitted an extensive replanting scheme for the whole site. Although the works would have preferably started in the summer holidays, this area has been left until the planning application is determined and is located that a contractor can be contained away from the main school if the works were to be carried out, whereas the entrance area would have proved difficult to keep construction staff and pupils separated.

Kind regards

Heather McCrudden
BA(hons) DIP March RIBA – Partner
Please note my working days are Monday, Tuesday, Thursday & Friday



2 Beechworth Road
Havant
Hampshire
PO9 1AX

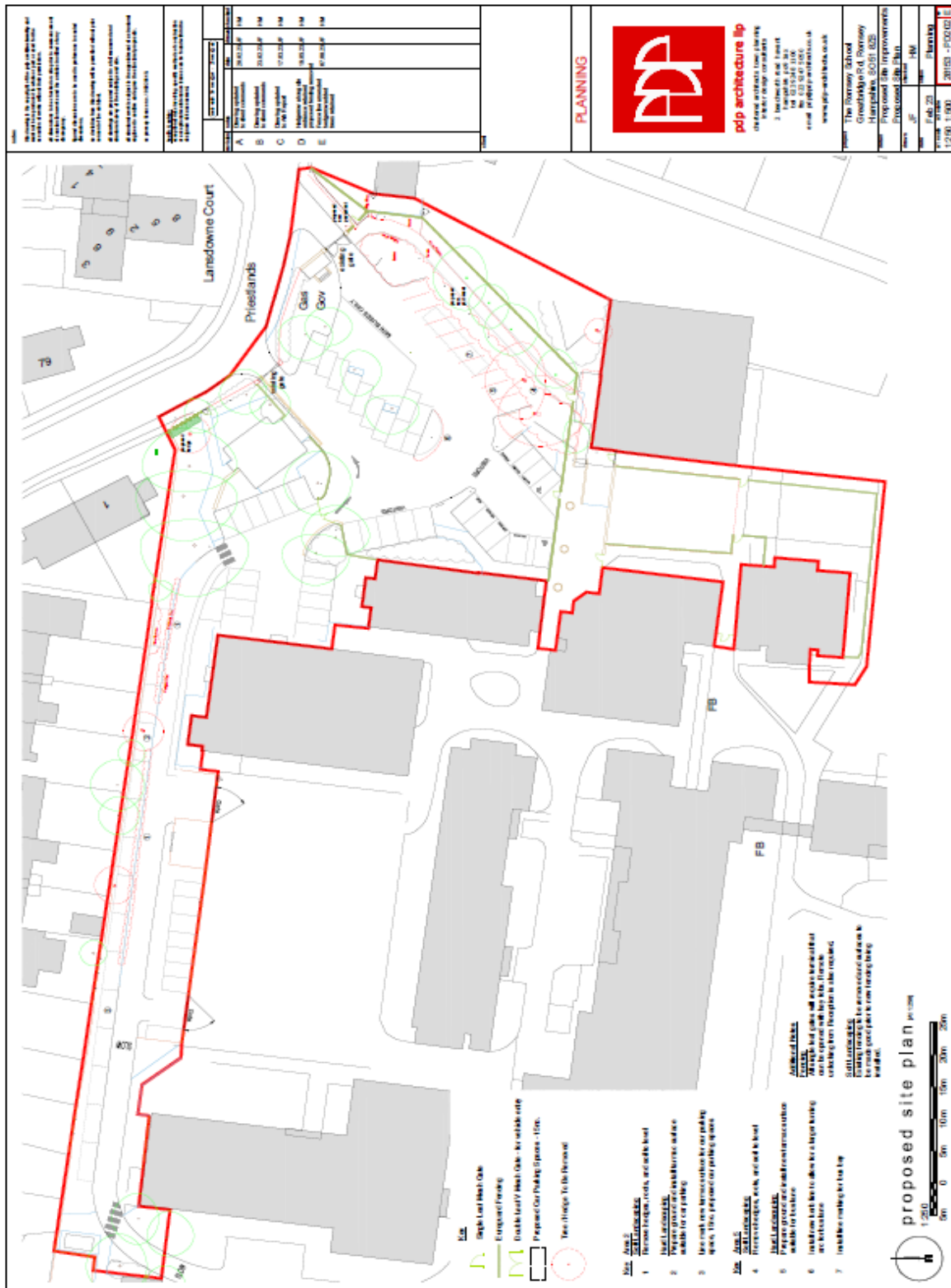


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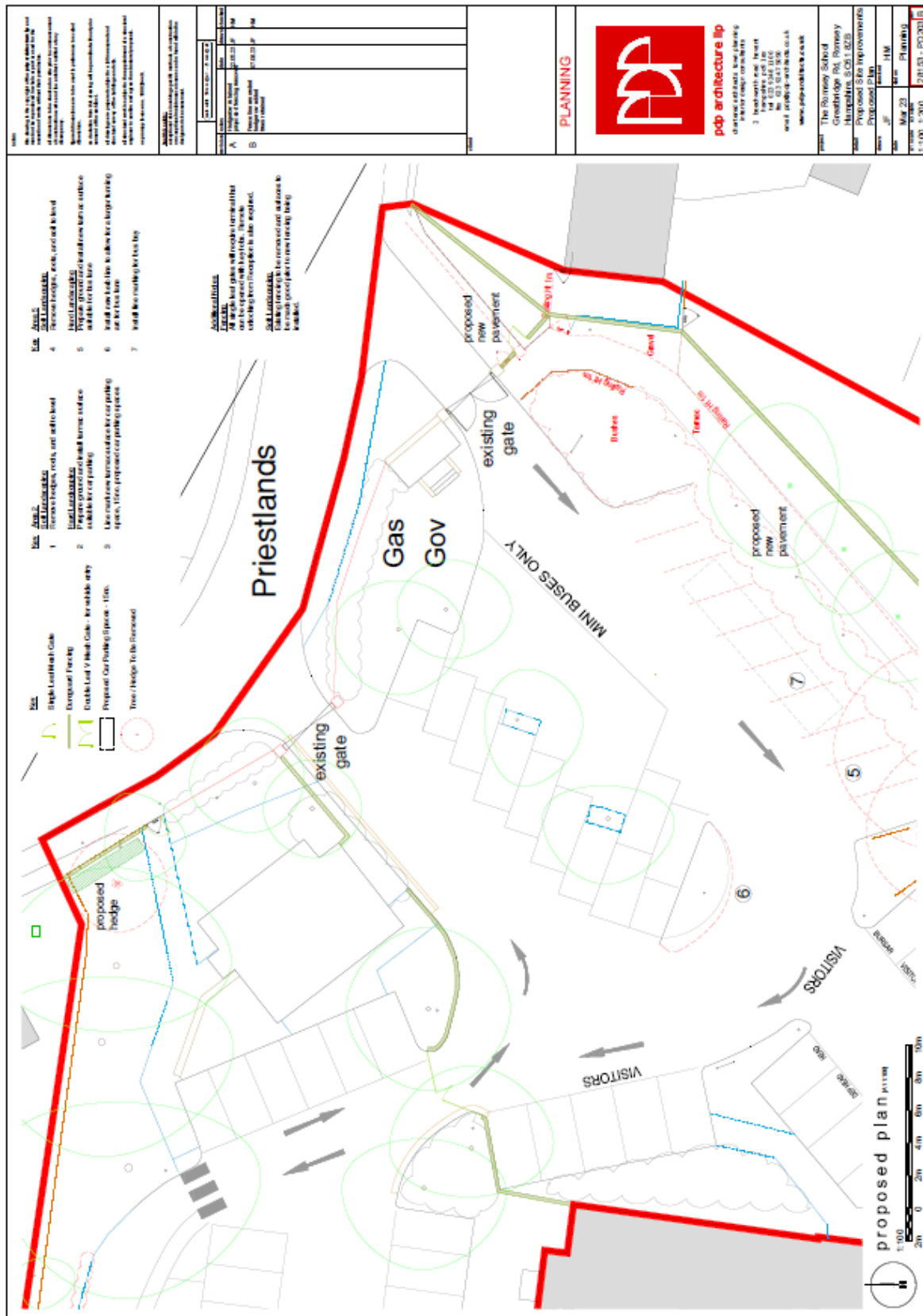
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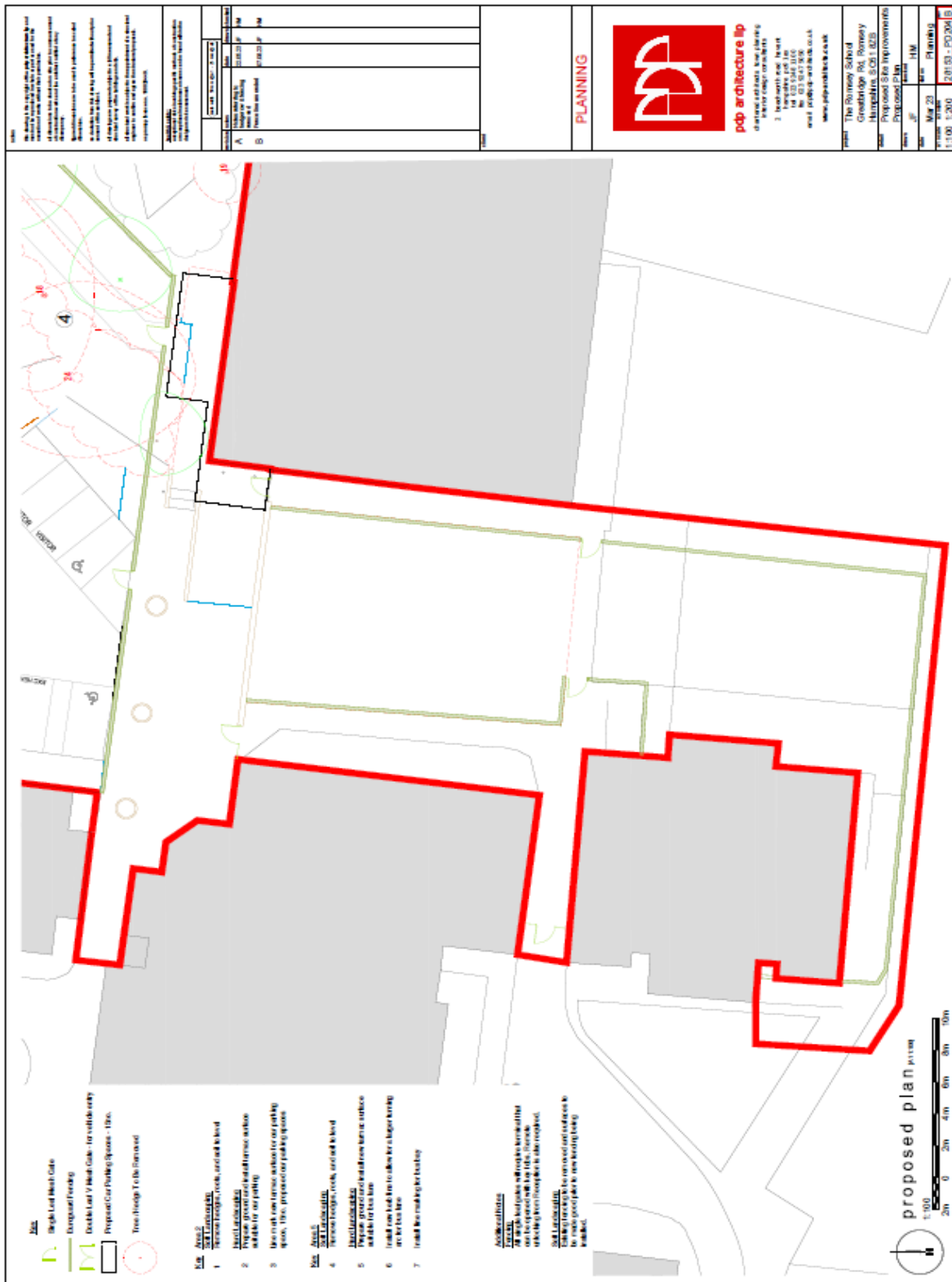
Appendix B

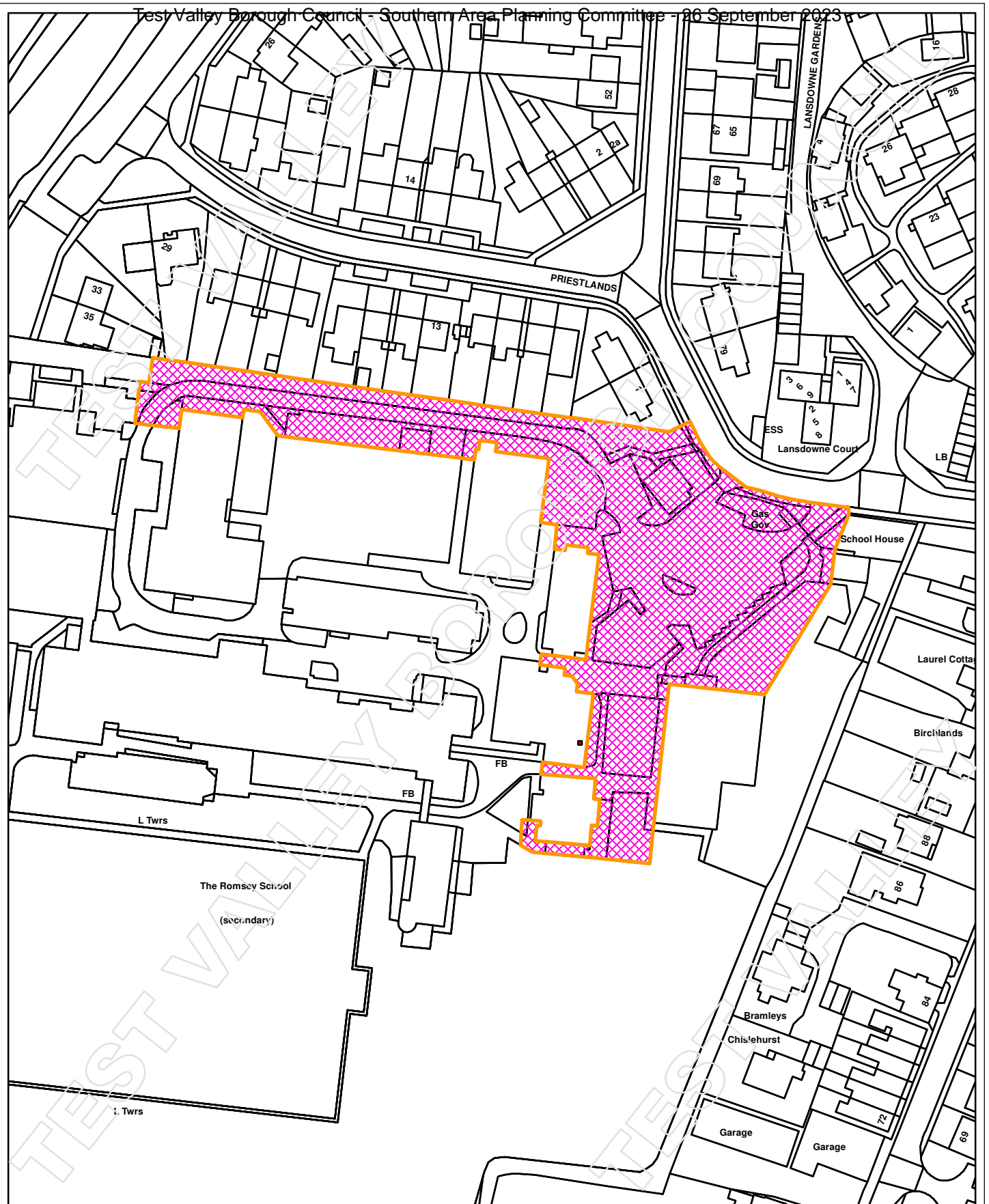


Appendix C



Appendix D





Siteplan



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23/00805/FULLS

ITEM 8

APPLICATION NO.	23/01560/FULLS
APPLICATION TYPE	FULL APPLICATION - SOUTH
REGISTERED	22.06.2023
APPLICANT	Mr and Mrs Ross and Emma Woodley
SITE	Ashley Glebe Farm Barn, Chalk Vale, Ashley, SO20 6RG, ASHLEY
PROPOSAL	Reconstruction of barn to create residential dwelling, conversion of existing outbuilding into home office and construction of garage. Details in accordance with plans (21/00650/FULLS) for barn conversions and garage, following demolition of barn
AMENDMENTS	Additional information 14/08/23
CASE OFFICER	Paul Goodman

Background paper (Local Government Act 1972 Section 100D)

[Click here to view application](#)

1.0 INTRODUCTION

1.1 The application The application is presented to Southern Area Planning Committee at the request of a member.

2.0 SITE LOCATION AND DESCRIPTION

2.1 The application site is situated to the southeast of Chalk Vale and within the designated countryside of Ashley Parish.

3.0 PROPOSAL

3.1 The application proposes the reconstruction of barn to create residential dwelling, conversion of existing outbuilding into home office and construction of garage. Details in accordance with plans (21/00650/FULLS) for barn conversions and garage, following demolition of barn

4.0 HISTORY

4.1 21/00650/FULLS - Demolition of redundant storage building and garages to allow for the construction of detached new dwelling; change of use of existing agricultural barn into residential dwelling, conversion of existing outbuilding into home office, erection of garage, landscaping and associated works. Permission 14.10.2021.

4.2 19/02310/PDQS - Notification for Prior Approval under Class Q - Conversion of agricultural building to a single dwelling. Prior Approval Required and Granted 21.11.2019.

4.3 19/00101/PDQS - Notification for Prior Approval under Class Q - Conversion of agricultural building to a single dwelling. Withdrawn 04.03.2019.

5.0 **CONSULTATIONS**

5.1 **Planning & Building (Ecology)** – No objection, subject to condition.

5.2 **Planning & Building (Landscape)** – Comment;

- From a landscape perspective the proposals mirror what was granted and agreed within the previous application.

5.3 **Planning & Building (Trees)** – Comments awaited on additional information.

5.4 **Housing and Environmental Health (Environmental Protection)** - No objection, subject to condition.

5.5 **HCC Highways** – No objection

5.6 **Natural England** – No objection

6.0 **REPRESENTATIONS** Expired 24.08.2023

6.1 **Ashley Parish Council** – Support;

- All Ashley residents were notified about this application and a Parish Meeting was held.
- The decision was unanimous in strongly supporting this application.
- The number of people present at the meeting represented 29% of all households in Ashley.
- Ashley Parish Meeting therefore hopes that TVBC will grant permission for this application.

6.2 **2 representations of Support;**

- We fully support the application for the barn conversion on behalf of Mr Ross and Emma Woodley and look forward to having them as neighbours.
- Developing this derelict site is very welcome and we are supportive of the plans.

7.0 **POLICY**

7.1 **National Planning Policy Framework 2023**

7.2 **Test Valley Borough Revised Local Plan (2016) (TVBRLP) COM2** (Settlement Hierarchy), COM12 (Replacement Dwellings in the Countryside), E1 (High Quality Development in the Borough), E2 (Protect, Conserve and Enhance the Landscape Character of the Borough), E5 (Biodiversity), E7 (Water Management), E8 (Pollution), LHW4 (Amenity), T1 (Managing Movement), T2 (Parking Standard).

8.0 **PLANNING CONSIDERATIONS**

The main planning considerations are the principle for development, character of the area, highways, protected species & ecology, nitrate neutrality and amenity.

8.1 **Principle of development**

The application site is, for the purposes of planning policy, within the countryside. The application site is not allocated for development in the currently saved policies of the Local Plan. The principle planning policy of the TVBLP therefore is policy COM2. Planning policy COM2 seeks to restrict development outside of settlement boundaries unless identified within the specified policies.

8.2 The site formerly comprised an agricultural barn. That barn has now been demolished but was previously subject to conversion under permitted development (Class Q) in 2019 to convert into a four-bedroom residential dwelling (19/02310/PDQS). That conversion did not take place and a subsequent application (21/00650/FULLS) granted planning permission for conversion of the barn, again to a four-bedroom residential dwelling, alongside works to an associated outbuilding.

8.3 The granting of the planning permission was predicated on the fall-back position resulting from the preceding Class Q application. However following the demolition of the barn neither could now be implemented. As a result there is no longer any fall-back position that would allow development to take place at the site.

8.4 Policy COM12 provides for the erection of replacement dwellings in countryside but as the permissions for the changes of use were never implemented the proposals do not fall under the remit of COM12. Without the ability to be considered under policy COM12 the proposals would be contrary to policy COM2 as the scheme represents development of a new dwelling in the countryside for which there is no essential need.

8.5 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and Section 70(2) of the Town and Country Planning Act 1990 require that applications for planning permission be determined in accordance with the development plan unless considerations indicate otherwise. This is echoed by the National Planning Policy Framework. In addition, the RLP is considered an up-to-date development plan which is not silent on development within the countryside and thus full weight must be given to it. However, it is considered that in this instance, there are other material considerations that must be taken into consideration in the determination of the application.

8.6 Appeal Decisions

The applicant's statement has drawn reference to an allowed appeal decision at Oak Tree Farm, Michelmersh (19/01446/FULLS). That site was similar to the current application in that a previous permission for conversion of buildings had not been implemented and that they had been demolished, albeit partially. As referenced in the applicants Planning Statement the Inspector in that case considered that "*the fact that a form of residential development has recently been approved and deemed acceptable on the site must weigh heavily in favour of a future residential use of the site.*"

- 8.7 However the Inspector was also clear that the proposals were contrary to the Local Plan and, in making the planning balance, also afforded significant weight to the enhancement of the Conservation Area that arose from leaving the site semi-derelict should planning permission not be granted when set against the clear conflict with Policy COM2 of the TVBRLP.
- 8.8 In the case of the current application the site is not located within a Conservation Area, or in any other statutory designated landscape area (e.g. AONB or National park). The original building has been completely demolished leaving a clear site. As a result 'harm' arising from the cleared site in this rural context is considered to not exist. In that sense the present situation at the site is incomparable to that found by the Inspector in the above cited appeal case. Member's attention is drawn to the position that it was only when weight was afforded to the enhancement of the character and appearance of the statutory Conservation Area of Michelmersh, that the appeal was allowed. Officers advise that the case is very different to that presented and would advise affording no weight to the appeal case in determining this acceptability, or otherwise of this application.
- 8.9 A similar application at Yew Tree Barn, West Tytherley (20/00522/FULLS) was considered alongside an enforcement appeal. In that case a conversion was permitted under Permitted Development Class Q (16/01627/PDQS) and further was submitted for reuse of the building that was subsequently found to have been substantially reconstructed. In the absence of a fallback position the development was therefore considered contrary to Policy COM2.
- 8.10 In dismissing the appeal the Inspector concluded that "There are no exceptions which apply to this development, and therefore it conflicts with development strategy and with Policy COM2."
- 8.11 In this case the Inspector also concluded that the proposals would be harmful to the character of the area and also that;

The appeal site is remote from settlements which provide shops, services, employment, schools, entertainment, leisure and health facilities. There are no footpaths or cycle paths which serve the site, or nearby public transport facilities and thus occupiers would be heavily reliant on travel by car to meet their everyday needs.

Accordingly the proposal would not provide satisfactory accessibility to services and facilities, and would conflict with LP Policy COM2.

- 8.12 Housing Land Supply
Section 5 of the NPPF relates to housing. Paragraphs 73 & 74 of the NPPF require the Council to demonstrate a minimum of 5 years housing land supply (HLS) with a 5% buffer. An assessment of the HLS position as at 1 April 2022 has been undertaken. This uses the housing requirement established in policy COM1 and has regard to the conclusions of the Inspector's Report on the Examination of the Local Plan. The HLS position for Northern Test Valley, as at 1 April 2022 is 5.71 years of supply. This is reported against a target of 5.00

years. The existence of a five year HLS enables the Council to give weight to the policies of the adopted plan. The demonstration of a five year HLS does not in itself cap development and any application must be assessed on its merits

8.13 **Conclusion on the Principle of Development**

In the absence of a fallback position the proposals are contrary to Policy COM2. The granting of the previous planning permission relied on the presence of the building to allow for a proper conversion of it to a dwelling. The building has been demolished and in that regard conversion is no longer possible. In this instance the prospect of once being able to undertake a conversion does not weigh in favour of the current application and is not considered to outweigh the conflict with national and Local Plan policies on controlling development in the countryside. In addition there is an absence of factors similar to that which enabled the grant of planning permission on appeal in Michelmersh, in this case. It is acknowledged that the proposals would make a very small contribution to local housing land supply but given the current position only very limited weight can be attributed to this factor.

8.14 **Character and Appearance**

The design of the proposed dwelling and outbuildings replicates the conversion scheme permitted under 21/00650/FULLS. Whilst acknowledging that the starting context has changed in the absence of the barn structure, the design of the permitted conversion was considered a particular strength of the application and as a result the currently proposed design would not have any adverse visual impact over and above that previously considered acceptable to the Council. The proposed development is considered to comply with policies E1 and E2 and of the TVBLP 2016.

8.15 **Highways**

The proposed dwelling would not generate any additional traffic over and above the previous permission. The Highways Officer has raised no objection in principle or with regard to with regards to traffic impact and access provision. Had the application been considered acceptable in principle the proposed parking could have been conditioned to be provided and retained the proposed development considered to have no significant adverse impact on highways or pedestrian safety in compliance with the relevant T policies of the TVBRLP.

8.16 **Ecology and Biodiversity**

8.17 **Protected Species**

The previous application was supported by suitable ecological survey information which concluded there were no protected species present. Following the demolition of the barn there is no longer a building to survey and the Ecology Officer has raised no objection. Subject to a condition to require compliance the mitigation previously approved the development is considered to have no adverse impact on protected species.

8.18 Solent and Southampton Water SPA – Solent Neutrality

There is existing evidence of high levels of nitrogen and phosphorus in the water environment across the Solent, with evidence of eutrophication at some designated sites. An Integrated Water Management Study for South Hampshire was commissioned by the Partnership for Urban South Hampshire (PUSH) Authorities to examine the delivery of development growth in relation to legislative and government policy requirements for designated sites and wider biodiversity. This work has identified that there is uncertainty regarding whether any new housing development does not contribute to net increases in nutrients entering these designated sites.

8.19 As such, the advice from Natural England is that the applicants for development proposals resulting in a net increase in dwellings are required to submit the nitrogen budget for the development to demonstrate no likely significant effect on the European designated sites due to the increase in waste water from the new housing.

8.20 With respect to the current application, the applicant has submitted information that the nutrient budget for the proposal. The submitted budget indicates that the development would not result in an increase in nitrates with the agricultural land to be taken out of production. A Habitat Regulation Assessment has been undertaken and referred to Natural England who have raised no objection. In summary the change of use of the land from agricultural use is sufficient to offset additional nitrate impacts. Had the application been otherwise acceptable it would be necessary to secure use of the proposed package treatment plant, on which the calculations were based, by condition.

8.21 **Water management**

The 2016 Local Plan includes a requirement in policy E7 to achieve a water consumption standard of no more than 100 litres per person today. This reflects the requirements of part G2 of the 2015 Building Regulations. In the event that planning permission was to be recommended a condition would be applied in order to address this. Subject to such a condition the proposal would comply with policy E7.

8.22 **Amenities of neighbouring properties**

The application site is situated in a relatively isolated location on the edge of the village of West Dean the nearest neighbouring dwelling situated approximately 230m west of the proposed dwelling. Given the distances from the neighbouring properties, the boundary treatment and intervening features it is not considered that the proposed development will result in any significant detrimental increase in overshadowing or have any significant overbearing or overlooking impact. Had the application been otherwise acceptable a condition could have been applied to restrict construction hours to limit noise impact. It is not considered that the proposed dwellings would have any significant detrimental impact on the amenities of the neighbouring properties and therefore accords with the relevant amenity policies of the TVBRLP 2016.

8.23 **Planning Balance**

The development would be contrary to the development plan in that the proposals would result in a new residential dwelling on a site designated as countryside in the Test Valley Borough Revised Local Plan 2016 (RLP). As a result the proposal for a new dwelling in the countryside is contrary to policy COM2.

8.24 The previous planning permission for conversion of the barn is a material consideration in favour of development. Whilst this matter was considered to 'weigh heavily' in favour of granting permission by an Inspector the final balance also included enhancements of a conservation area not relevant to the current application. In addition another inspector did not afford any substantial weight to a previous Class Q approval.

8.25 In economic terms, the application scheme would provide construction jobs and some local investment during its build out. Albeit that these jobs and investment would be transitory, this a matter to which is afforded moderate weight.

8.26 The benefits outlined above are not, sufficient to outweigh the clear conflict with Local and National Planning Policies.

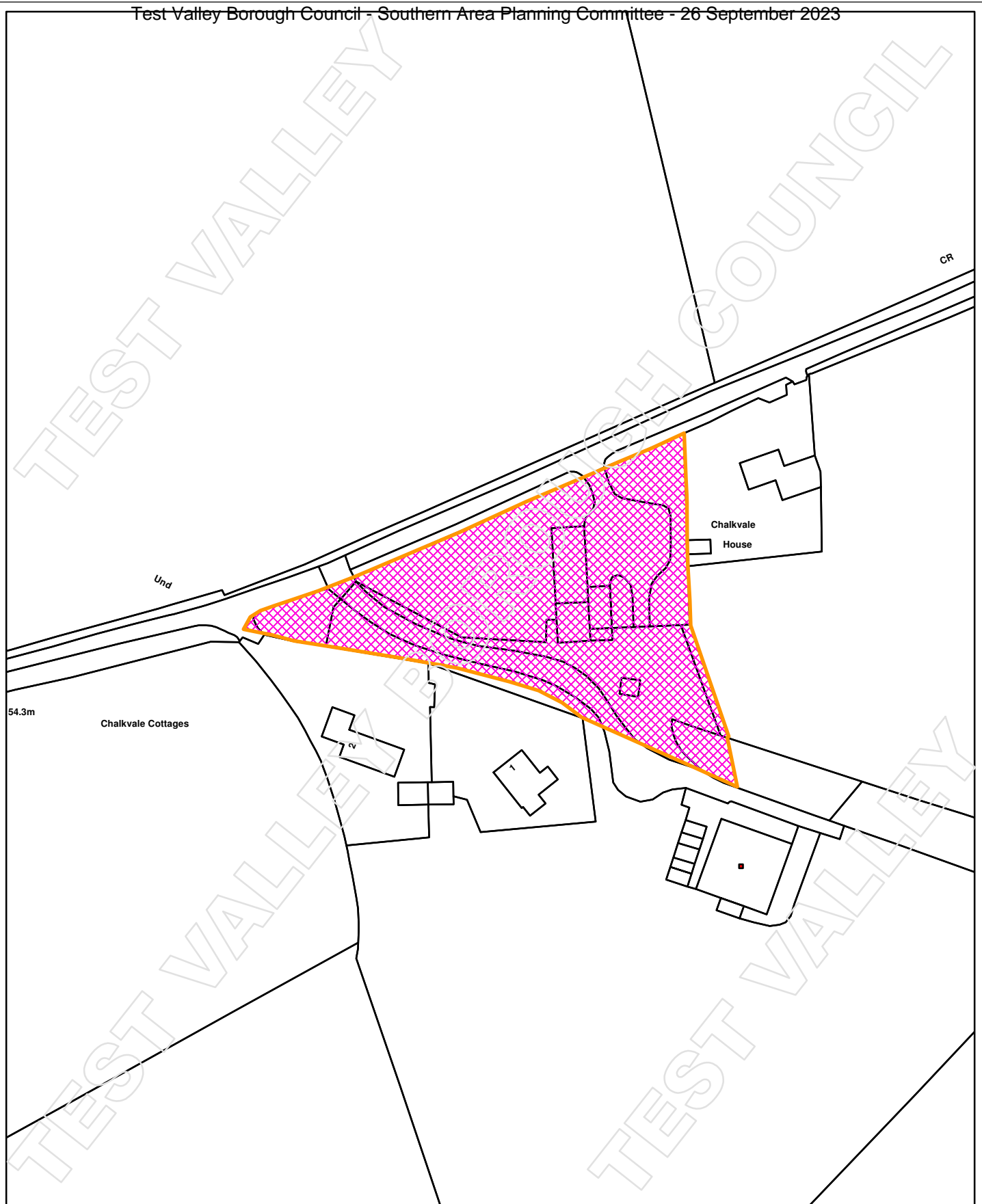
9.0 **CONCLUSION**

9.1 Overall, the proposal is contrary to the development plan. The proposal is not otherwise justified by material considerations, including national policy in the NPPF. For this reason the application is recommended for refusal.

10.0 **RECOMMENDATION**

10.1 **REFUSE**

- 1. The proposal represents unjustified development in the countryside for which there is no overriding need. The proposal is therefore contrary to Policy COM2 of the Test Valley Borough Revised Local Plan (2016) and guidance in the National Planning Policy Framework.**

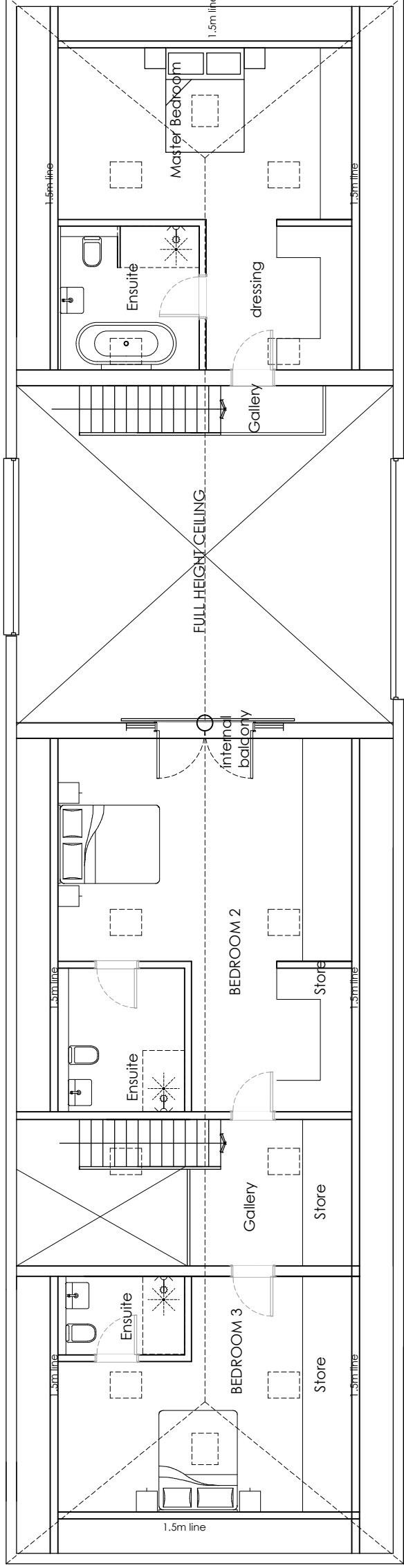


Siteplan

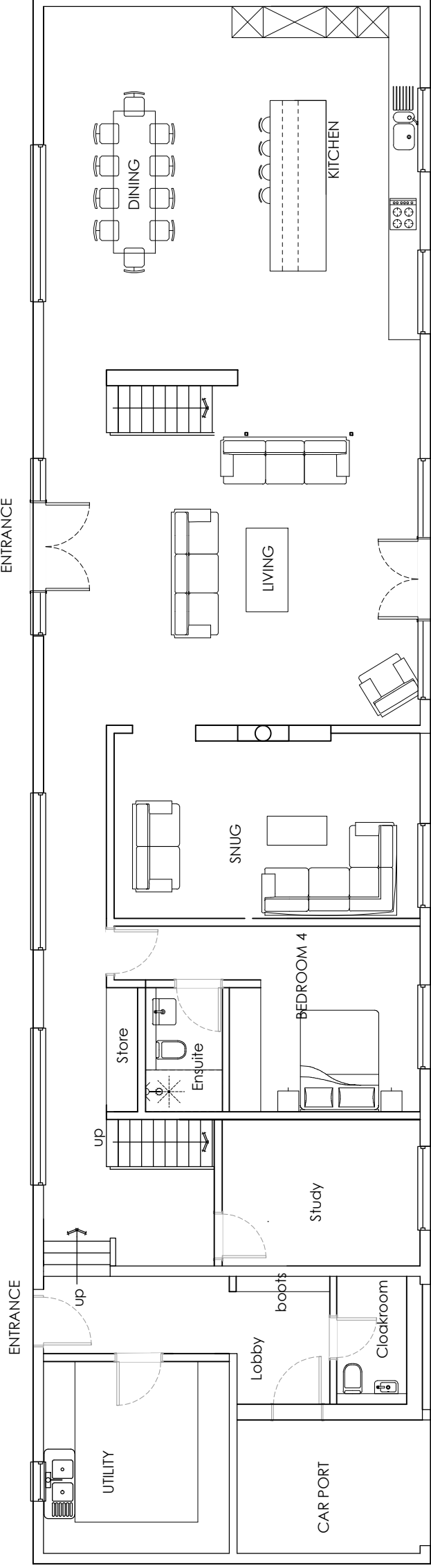


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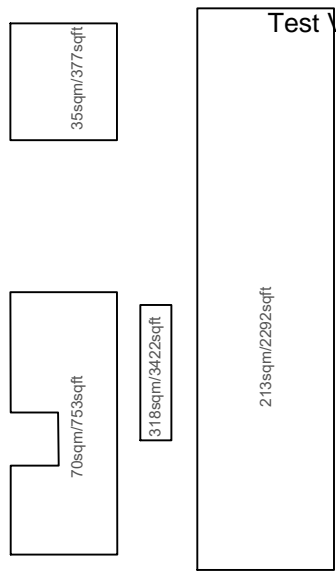
23/01560/FULLS



Proposed barn First plan 1:100

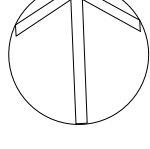


Proposed barn Ground plan 1:100



Area schedule

Test Valley Borough Council - Southern Area Planning Committee - 26 September 2023



rev A_27-03-2022_Revisions to plans following client input. Additional bedroom at first floor, rooflights, revisions to carport and snug

Client: Mr and Mrs Woodley	Planning		
Project: Redevelopment at Chalk Vale Farm, Ashley, King's Somborne, Stockbridge, SO20 6RE	Drawing No: 0348-02-007	Revision: A	First Issue: Jan 2021
Title: Barn	Drawn: nb	Scale: 1:100 @a3	Check:
- ground plan			

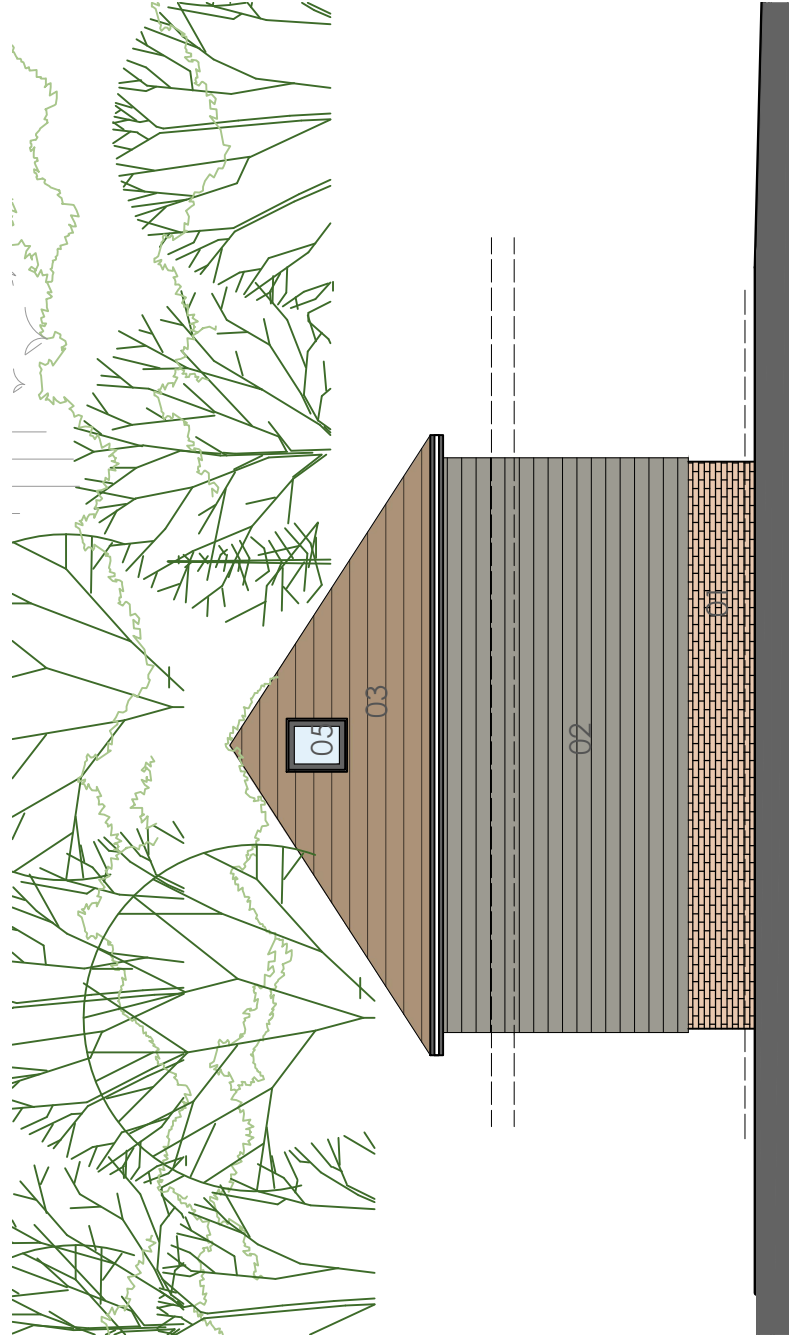
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Chalk Vale Farm

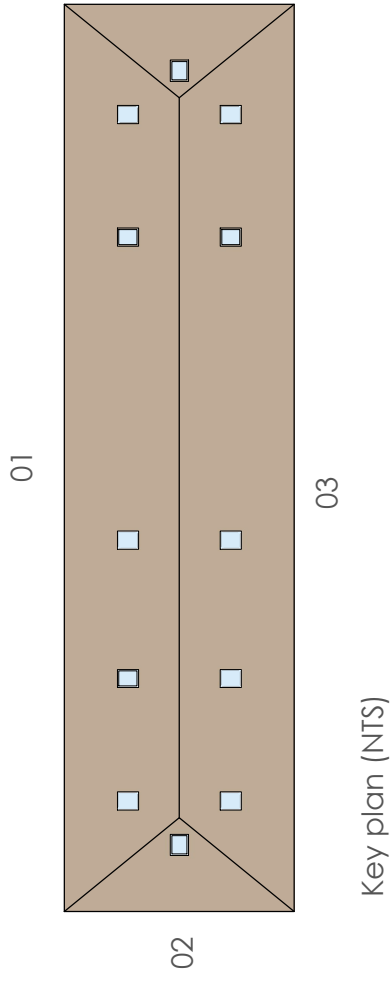
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01 Barn proposed west elevation 1:100

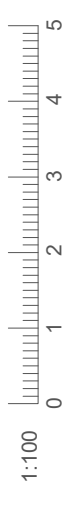


SOUTH ELEVATION
02 Barn proposed South elevation 1:100



Material Key

1. Walls - brickwork plinth
2. Walls - horizontal timber cladding
3. Roof - clay tiles
4. Posts - Timber square edged.
5. Roof light - Velux or similar
6. Patio door - aluminium grey
7. Timber frame glazing
8. Fascias/soffits - grey
9. Sliding doors - aluminium grey
10. Windows - timber painted
11. walls - existing chalk lime washed
12. doors - timber hardwood
13. Dormer - Lead
14. garage doors - timber hardwood
15. Balustrade - glass
16. Roof - slate
17. windows - aluminium grey



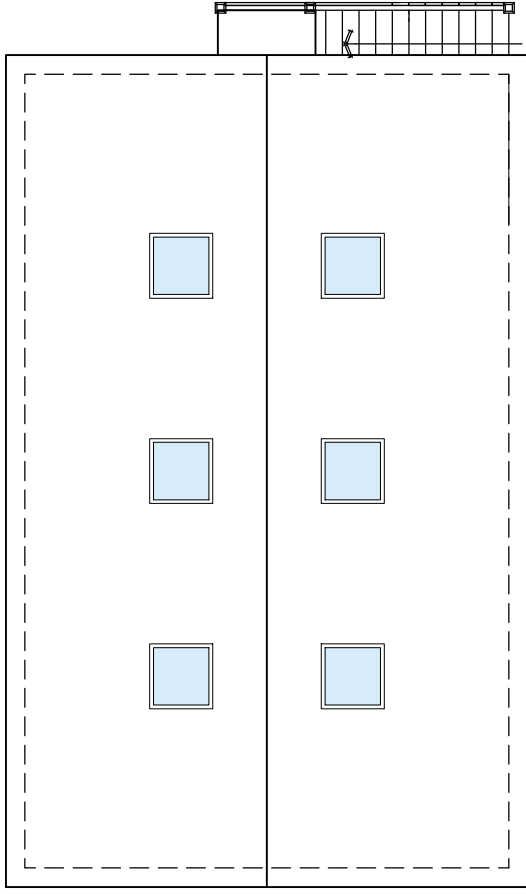
Rev - rev a_23-06-2022_half of carport covered to accommodate, additional rooflights added

Client: Mr Browning	Planning NMA	
Project: Redevelopment at Chalk Vale Farm, Ashley, King's Somborne, Stockbridge, SO20 6RE	Drawing No: 0212-02-008	Revision: A
Title: Plot 1 proposed elevations	Drawn: nb	Scale: 1:100 @a3
	Check:	First Issue: Jan 2021

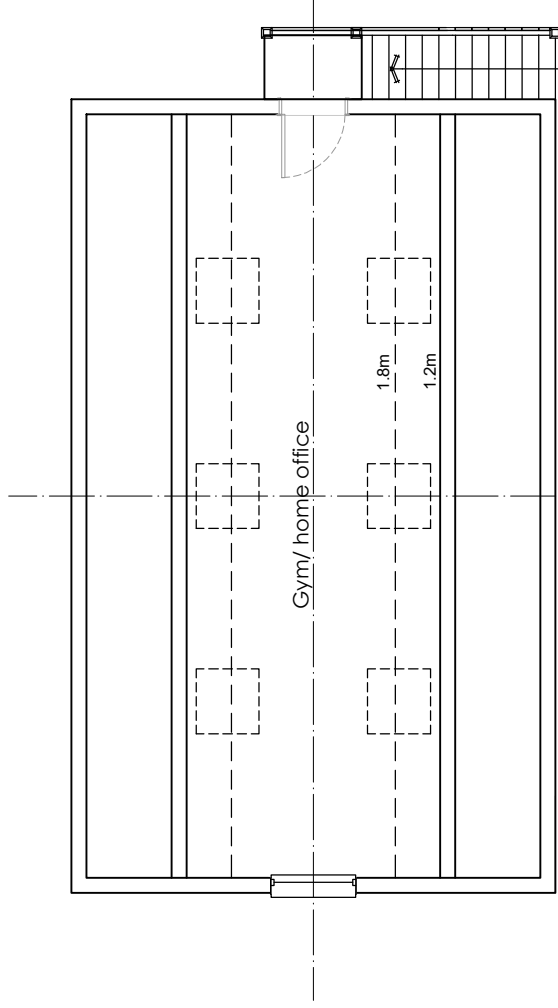
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Chalk Vale Farm

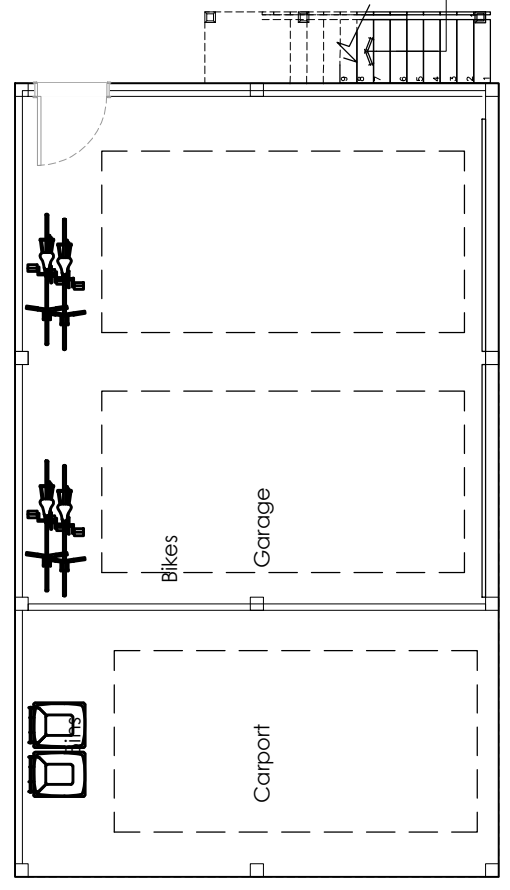
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Proposed plot 1 garage roof plan 1:100



Proposed plot 1 garage first plan 1:100



Proposed plot 1 garage ground plan 1:100



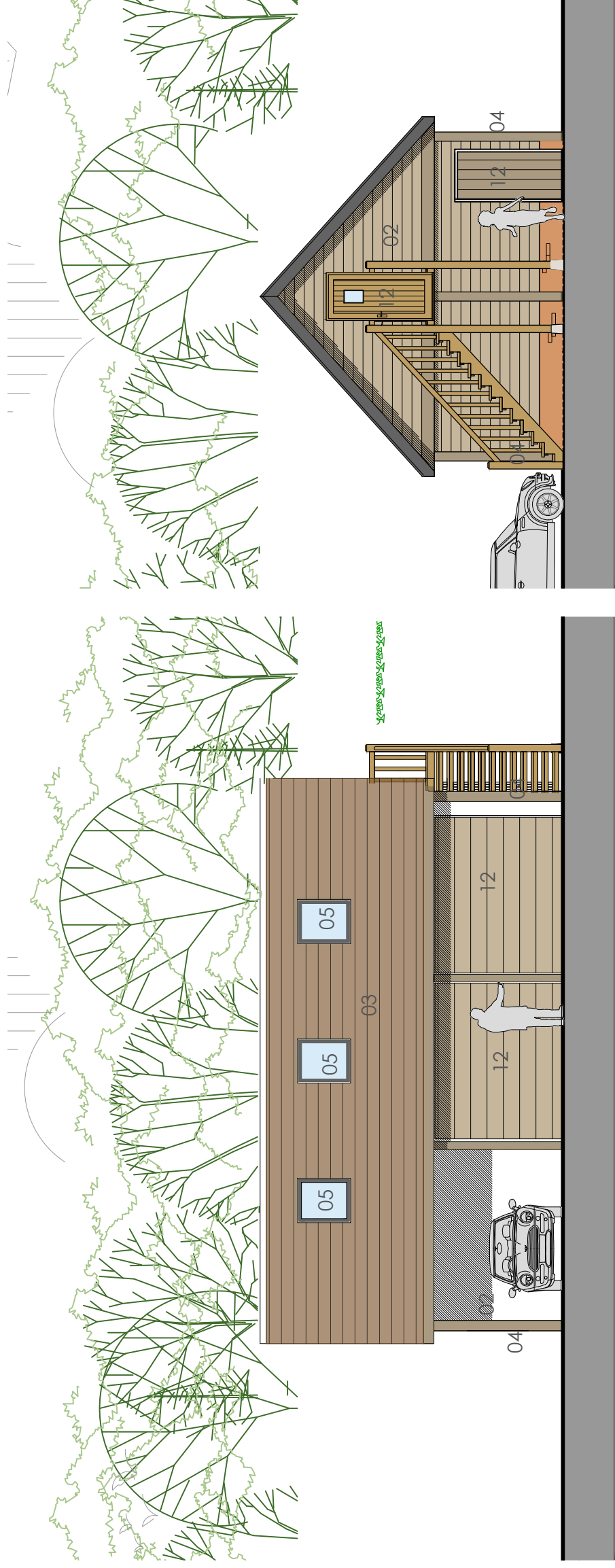
rev a_23-06-2022_garage plan mirrored, external stairs added

Client: Mr and Mrs Woodley	Planning	
Project: Redevelopment at Chalk Vale Farm, Ashley, King's Somborne, Stockbridge, SO20 6RE	Drawing No: 0248-02-010	Revision: A
Title: Proposed Plot 1 Garage plans	Drawn: nb	Scale: 1:100 @ a3
	Check:	First Issue: June 2022

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Chalk Vale Farm

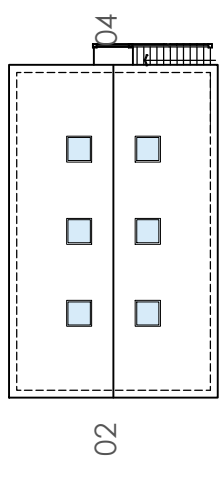
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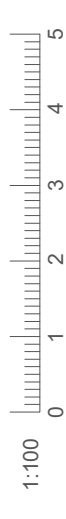
01 Proposed front elevation 1:100

02 Proposed side elevation 1:100

Material Key	
1.	Walls - brickwork plinth
2.	Walls - horizontal timber cladding
3.	Roof - clay tiles
4.	Posts - Timber square edged.
5.	Roof light - Velux or similar
6.	Patio door - aluminium grey
7.	Timber frame glazing
8.	Fascias/soffits - grey
9.	Sliding doors - aluminium grey
10.	Windows - timber painted
11.	walls - existing chalk lime washed
12.	doors - timber hardwood
13.	Dormer - Lead
14.	garage doors - timber hardwood
15.	Balustrade - glass
16.	Roof - slate
17.	windows - aluminium grey



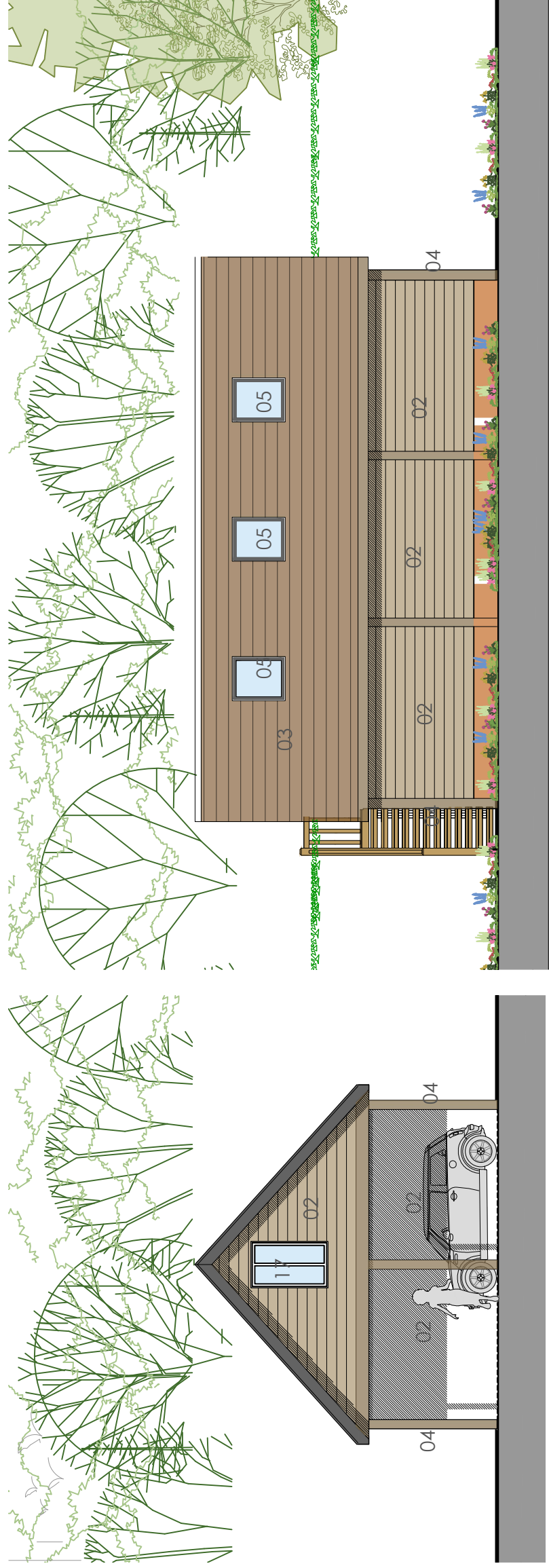
01
Key plan (NTS)



rev a_23.06.2022_garage plan mirrored, external stairs added

Client:		Project:		Title:	
Mr and Mrs Woodley		Redevelopment at Chalk Vale Farm, Ashley, King's Somborne, Stockbridge, SO20 6RE		Plot 1 Garage elevations	
Drawing No:		Revision:		Drawn:	
0348-02-011		a		nb	
Scale:		1:100 @ a3		Check:	
First Issue:		June 2022			

Planning



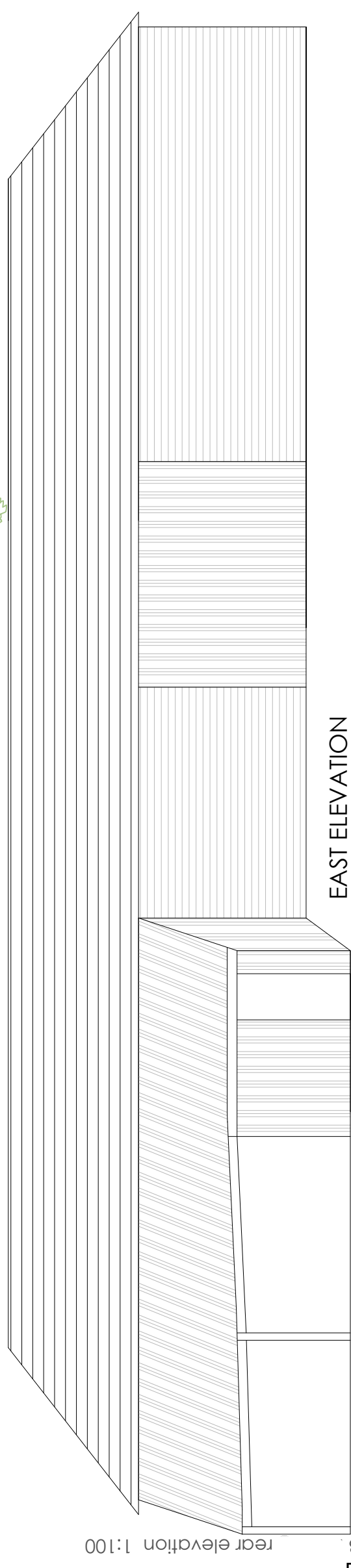
03 Proposed side elevation 1:100

04 Proposed rear elevation 1:100

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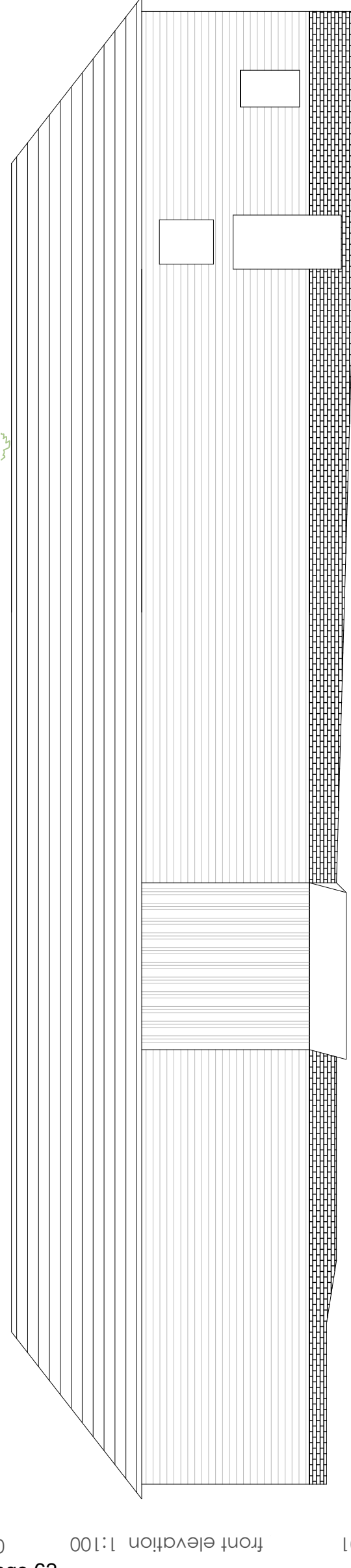
Chalk Vale Farm

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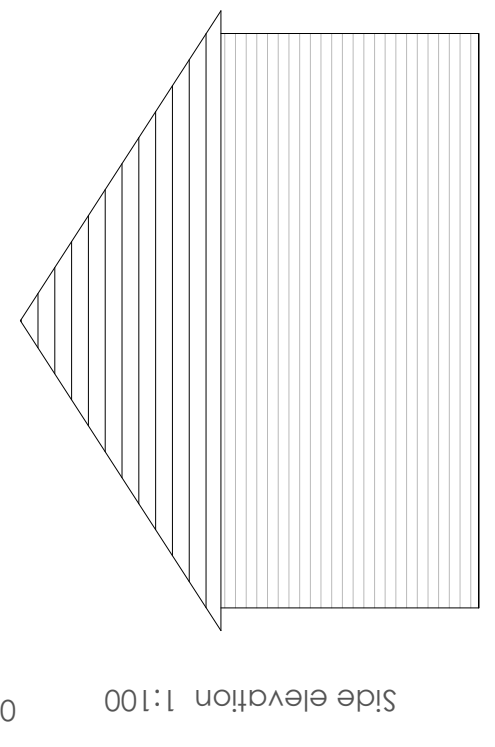
EAST ELEVATION

03



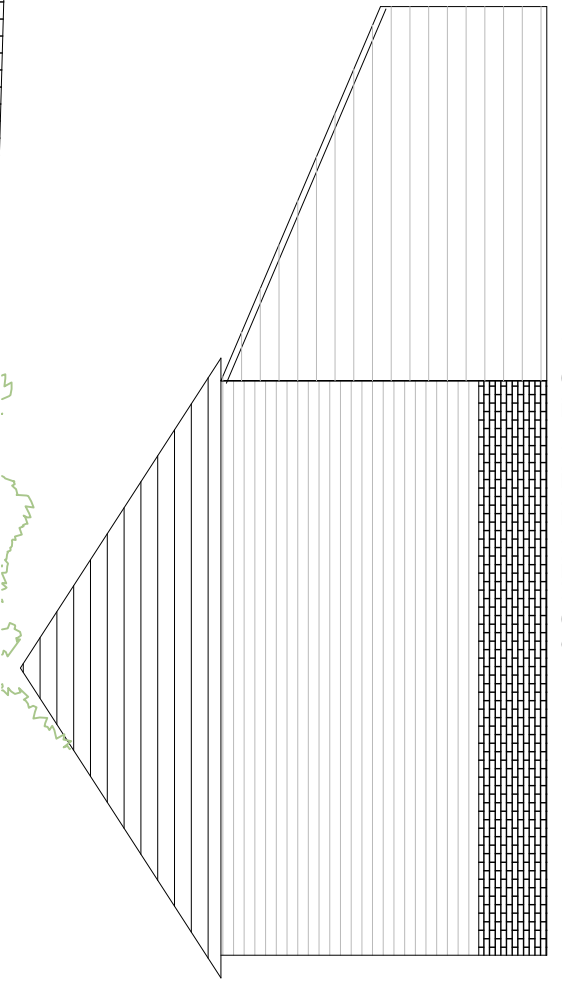
01

key plan



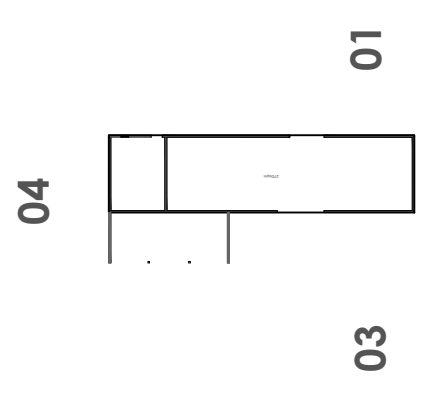
NORTH ELEVATION

02



SOUTH ELEVATION

04



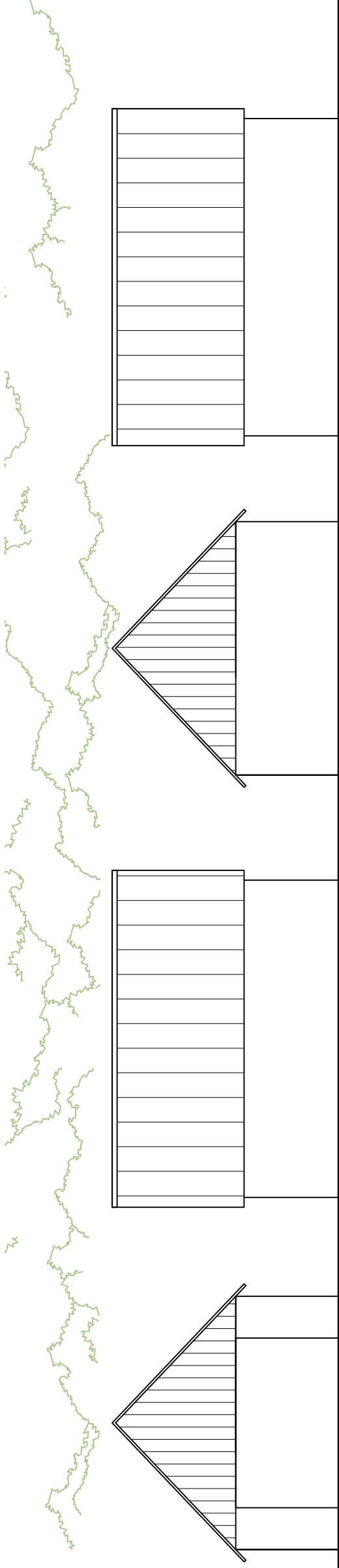
1:100

Client: Mr Browning	Planning		Revision:
Project: Redevelopment of Chalk Vale Farm, Ashley, Kings Somborne, Stockbridge, SO20 6RE	Drawing No: 0212-02-003	Revision:	
Title: Former barn elevations	Drawn: nb	Scale: 1:100 @a3	First Issue: Dec 2020
	Check:		

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Chalk Vale Farm

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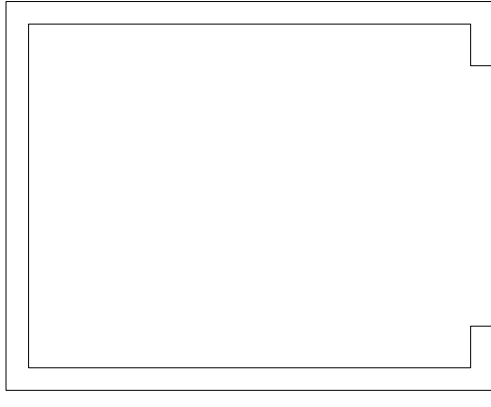


01 existing cob building front elevation 1:100

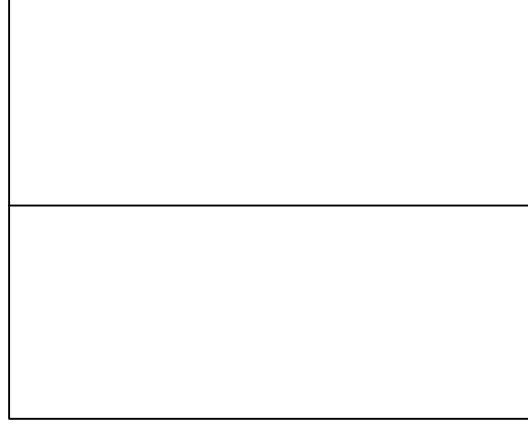
02 existing cob building side elevation 1:100

03 existing cob building rear elevation 1:100

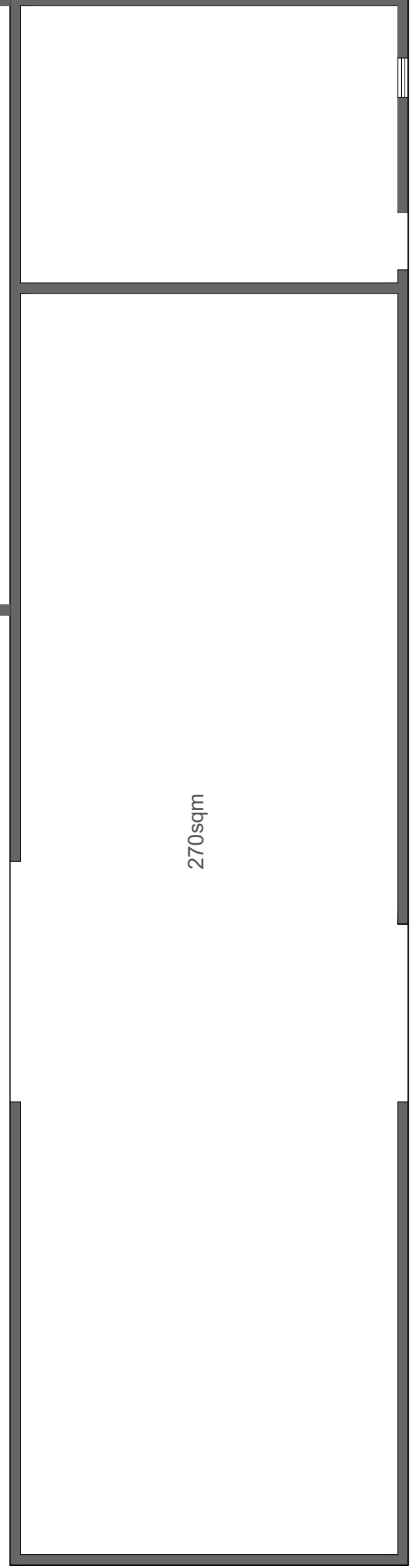
04 existing cob building side elevation 1:100



03 Existing cob building ground plan 1:100



01 Existing cob building roof plan 1:100



270sqm



Client: Mr Browning	Planning	
Project: Redevelopment at Chalk Vale Farm, Ashley, King's Somborne, Stockbridge, SO20 6RE	Drawing No: 0226-02-002	Revision:
Title: Former barn plans	Drawn: nb	Scale: 1:100 @c3
	Check:	First Issue: Jan 2021

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ITEM 9

APPLICATION NO.	23/01816/FULLN
APPLICATION TYPE	FULL APPLICATION - NORTH
REGISTERED	20.07.2023
APPLICANT	Mr and Mrs Steward Macdonald
SITE	Kings Farm House, Station Road, Over Wallop, SO20 8HZ, OVER WALLOP
PROPOSAL	Replacement of metal railings at front boundary with Brick/flint wall
AMENDMENTS	Confirmation regarding retention of brick piers, pillars and plinth received 18.08.23
CASE OFFICER	Gillian Wheeler

Background paper (Local Government Act 1972 Section 100D)

[Click here to view application](#)

1.0 INTRODUCTION

1.1 This application has been referred to committee due to Member interest.

2.0 SITE LOCATION AND DESCRIPTION

2.1 Kings Farm is a Grade II listed building within the Middle and Over Wallop Conservation Area. The application site is situated in close proximity to Wallop Brook to the south-west, which is a Site of Importance for Nature Conservation (SINC). Consequently flood zones 2 and 3 cross the front of the site. Public Right of Way (PROW) Over Wallop 3 is located opposite the front of the site, leading to St Peters Church, which is Grade II* listed.

3.0 PROPOSAL

3.1 The application seeks permission to remove the existing metal railings from the front boundary wall and replace them with brick and flint, proposed to be built on top of the existing brick plinth.

3.2 The existing gate, brick pillars and brick piers would be retained as existing, and the proposed brick and flint wall would be built to the same height as the existing railings.

4.0 HISTORY

4.1 21/03686/LBWN - Replacement of railings with wall and provision of replacement gate. Withdrawn 14.03.22

4.2 22/00151/FULLN - Replacement of railings with wall and provision of replacement gate. Withdrawn 14.03.22

5.0 CONSULTATIONS

5.1 **Design and Conservation: No objection** subject to conditions

6.0 **REPRESENTATIONS** Expired 18.08.2023

6.1 **None**

7.0 **POLICY**

7.1 Government Guidance

National Planning Policy Framework (NPPF)

National Planning Practice Guidance (NPPG)

Planning (Listed Buildings and Conservation Areas) Act 1990

7.2 Test Valley Borough Revised Local Plan (2016)(TVBRLP)

Policy SD1 – Presumption in Favour of Sustainable Development

Policy COM2 – Settlement Hierarchy

Policy E1- High Quality Development in the Borough

Policy E9 - Heritage

7.3 Neighbourhood Planning

The Wallops Neighbourhood Development Plan was submitted for independent examination on 31.07.23. It therefore carries some weight as an emerging plan.

Policy ELP1 – Conservation Areas

Policy ELP2 – Listed Buildings and Locally Important Heritage Assets

Policy DDP3a – Design Principles

7.4 Supplementary Planning Documents (SPD)

Wallops Conservation Area Character Appraisal, March 2008

The Wallops Village Design Statement, February 2004

8.0 **PLANNING CONSIDERATIONS**

8.1 The main planning considerations are:

- Principle of development
- Impact on the character and appearance of the area
- Impact on heritage

8.2 **Principle of development**

The site lies within the Over Wallop settlement boundary as defined on the Inset Maps of the TVBRLP. In accordance with Policy COM2 of the TVBRLP, development is permitted provided that the proposal is appropriate to the other policies of the Revised Local Plan. The proposal is assessed against the relevant policies below.

8.3 **Impact on the character and appearance of the surrounding area**

The application site and surrounding area currently includes various boundary treatments including a low brick wall to the front of the dwelling topped with iron railings, traditional cob walls and brick walls with half-round coping on top. The area also includes brick and flint walls and hedged boundaries.

8.4 The proposal is to replace the wrought-iron railings either side of the existing front pedestrian gate with a knapped and coursed flint wall, with brick dressings and a half-round brick coping to match the existing wall at the western end. The brickwork would be in Flemish bond to match the existing

wall. It is proposed that the existing Flemish bond low brick wall would be retained and repaired with lime mortar joints to match the existing, with the wrought-iron gate and brick piers also retained. The height of the proposed wall would be 75cm to match the height of the existing railings.

- 8.5 The use of brick and flint is common in this section of Station Road, and the proposed wall would respect and complement the character of the area, in addition to being in-keeping with the appearance of the existing wall on the south-western corner of the site. As a result, the proposals are considered to satisfactorily integrate with the character of the existing area in accordance with policy E1 of the TVBRLP.
- 8.6 **Heritage**
The site lies within the Middle and Over Wallop Conservation Area which is a designated heritage asset and therefore consideration must be given to the desirability of preserving or enhancing the character and appearance of the Conservation Area as set out in section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- 8.7 Kings Farm House is a Grade II listed building, which is also a designated heritage asset. Section 66(l) of the Planning (Listed Buildings and Conservation Areas) Act 1990 places a statutory duty upon decision makers to have special regard to the desirability of preserving the heritage asset.
- 8.8 A detailed heritage statement has been provided in support of this application, which states that *no historic photos have been found that provide evidence of when the wall was built*, and that *Station Road is not characterised by low brick plinth walls with railings*. The heritage statement includes evidence to suggest that the railings are a mid-twentieth century addition.
- 8.9 As a result, it is not considered that the loss of the railings would detract from the significance of the listed building or have an adverse impact on its setting, or on the setting of the conservation area. The height of the proposed wall would not exceed the height of the existing railings, would retain the existing brick plinth, brick piers and brick pillars in the design of the resultant wall and would still allow public views of the listed building which contributes positively to the character of the conservation area, and would retain the open character of the frontage of the application site.
- 8.10 Details of the type of brick to be used, the arrangement of the bricks and flints and the details of the lime mortar can be secured by appropriately worded conditions to ensure that they would not detract from the significance of the heritage assets. Such conditions form part of this recommendation.
- 8.11 As a result of the above, and subject to conditions contained in the recommendation, it is considered that the proposed wall would preserve the character and setting of the Conservation Area, and be in accordance with Policy E9 of the TVBRLP, the emerging Over Wallop Neighbourhood Plan, The Wallops Conservation Area Character Appraisal and The Wallops Village Design Statement.

9.0 CONCLUSION

9.1 It is considered that the proposed wall would not detract from the significance of the heritage assets (and by doing so preserve those assets) and would integrate successfully with the character of the area.

9.2 The proposals would be in accordance with Policies E1, and E9 of the TVBRLP along with the emerging Over Wallop Neighbourhood Plan, The Wallops Conservation Area Character Appraisal and The Wallops Village Design Statement.

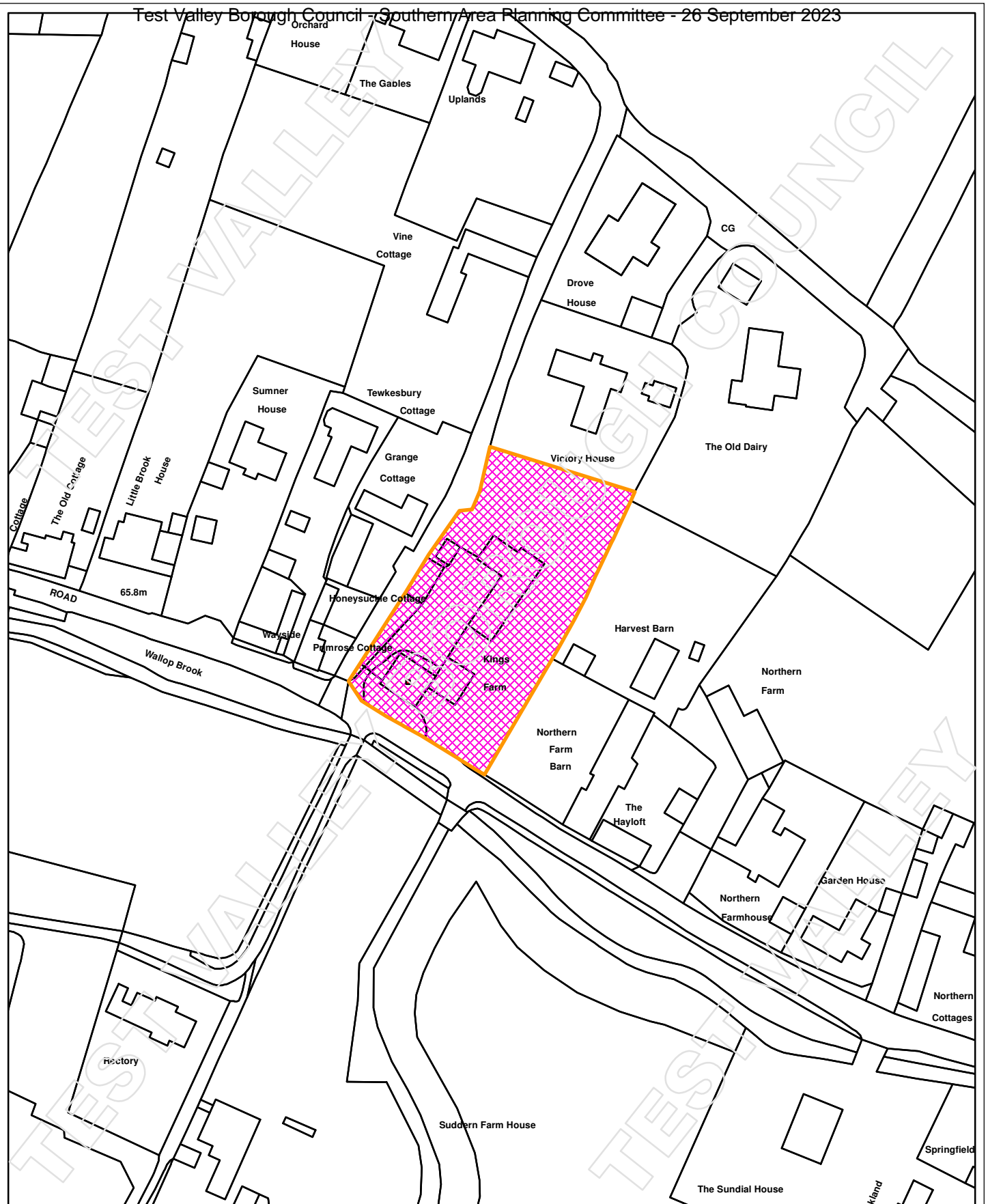
10.0 RECOMMENDATION

PERMISSION subject to:

1. **The development hereby permitted shall be begun within three years from the date of this permission.
Reason: To comply with the provision of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.**
2. **The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers:
Location and Block Plans, drawing number 900, dated June 2019 and received 14.07.23
Block Plan as Proposed, drawing number D01, dated June 2023 and received 14.07.23
Front and West Elevations as Proposed, drawing number D02, dated June 2023 and received 14.07.23
Reason: For the avoidance of doubt and in the interests of proper planning.**
3. **The development hereby permitted shall not be erected unless or until samples and details of the materials to be used, including the lime mortar, and including a sample flint panel and detailed drawings showing the design and arrangement of the bricks and flints, have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.
Reason: To ensure the development has a satisfactory external appearance in the interest of visual amenities and to ensure that the details would sustain the significance of the heritage assets in accordance with Policies E1 and E9 of the Test Valley Borough Revised Local Plan 2016.**
4. **The existing brick plinth, brick pillars and brick piers shall be retained and incorporated into the resultant new wall in accordance with the email received from Stuart MacDonald on 18.08.23 and drawing number D02.
Reason: To sustain the significance of the heritage assets in accordance with Policy E9 of the Test Valley Borough Revised Local Plan 2016.**

Note to applicant:

- 1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
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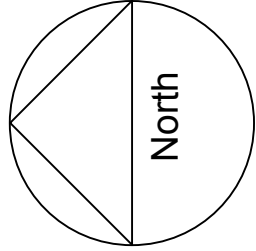
Siteplan



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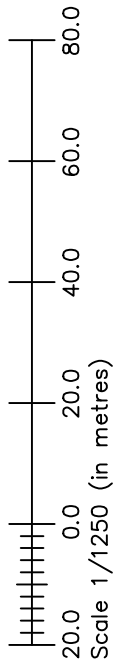
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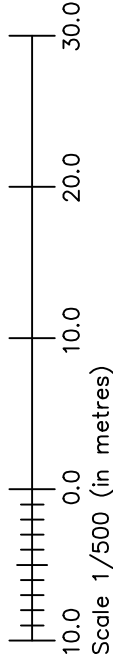
SITE LOCATION PLAN @ 1/1250

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SITE BLOCK PLAN @ 1/500



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Date:	

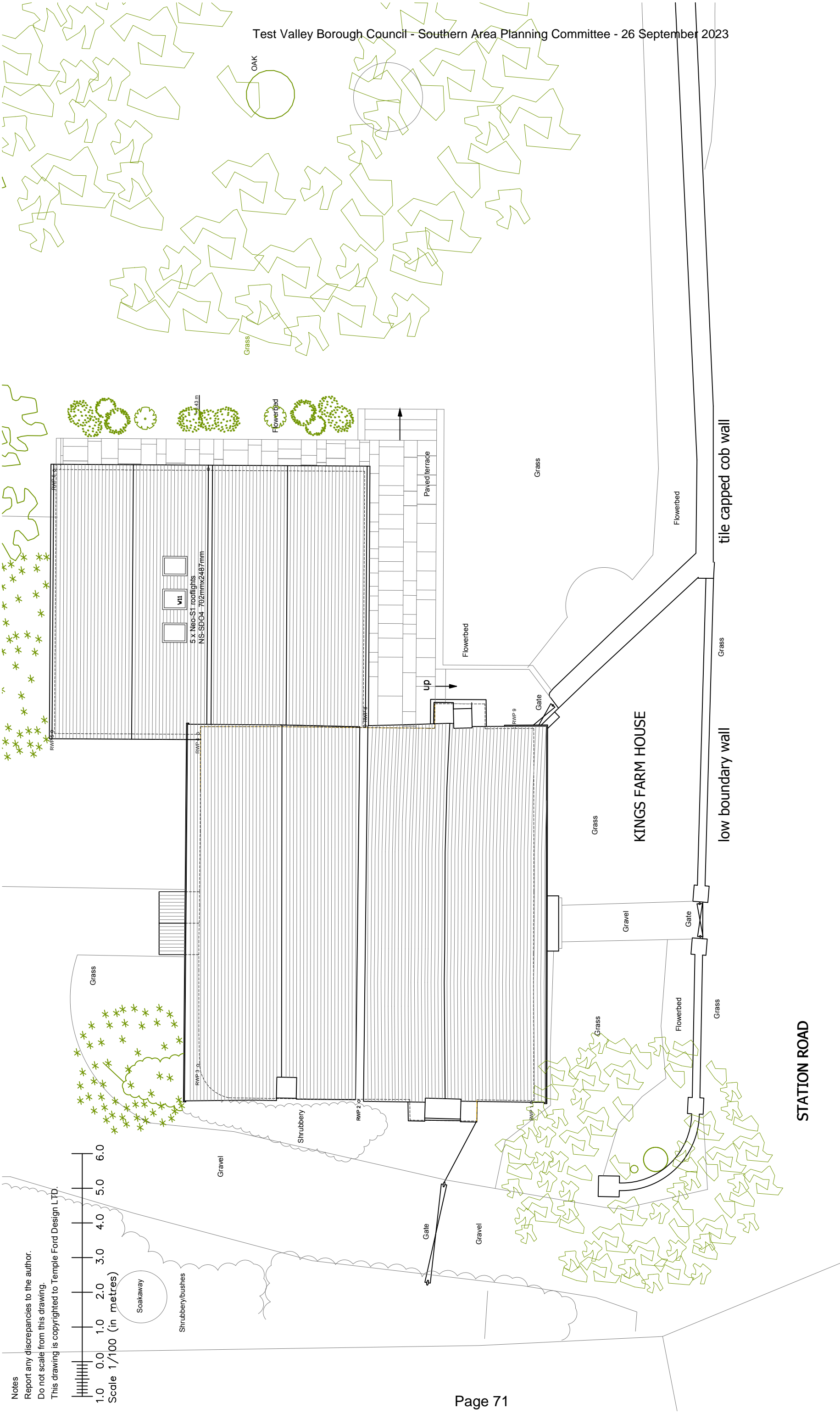
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Drawn:	dmm
Checked:	mp

Project:	Kings Farm, Nether Wallop Proposed boundary wall
Drawing Title:	Location and Block Plans

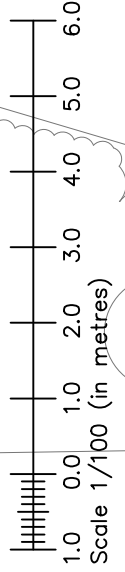
Client:	Mr & Mrs MacDonald
Project:	2164
Dwg No:	900
Rev:	.

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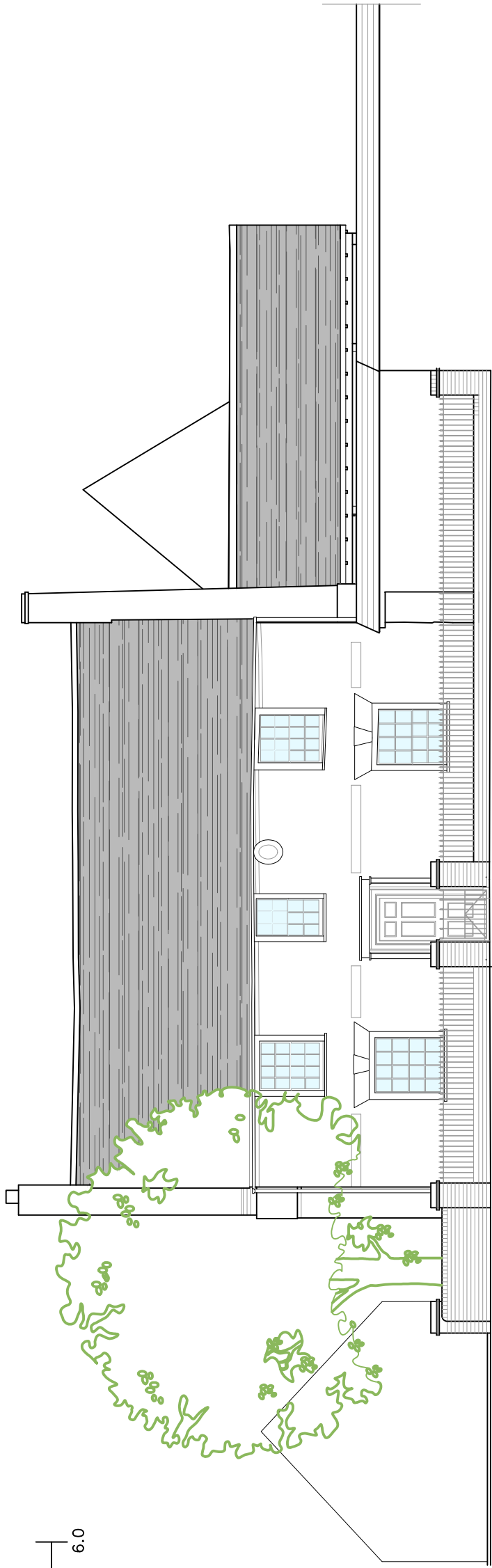
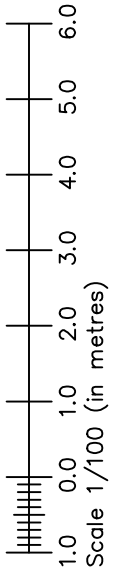
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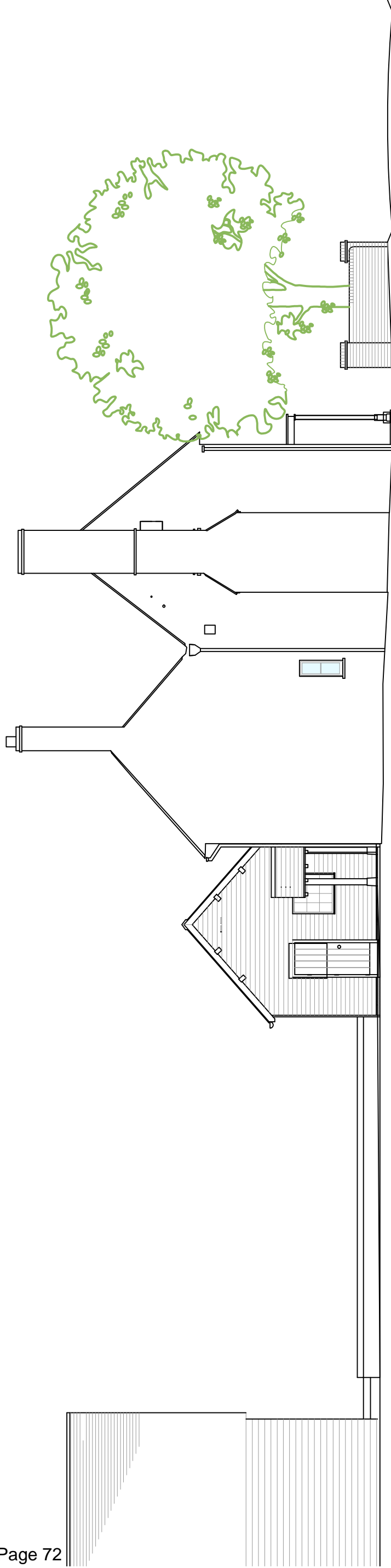
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EXISTING FRONT ELEVATION

Existing wall



EXISTING WEST ELEVATION

Existing wall

Station Road

Revision Notes:

Rev:	Date:	Description:
~	~	~

Date: June 2023

Scale @ A3: 1/100

Drawing Status: Design
 Drawn: dmm
 Checked: mp

Project: Kings Farm, Nether Wallop
 Proposed Boudary wall

Drawing Title: Front and West Elevations
 as existing

Client: Mr and Mrs S MacDonald
 King's Farm

Project: 2164
 Dwg No: 902
 Rev: ~

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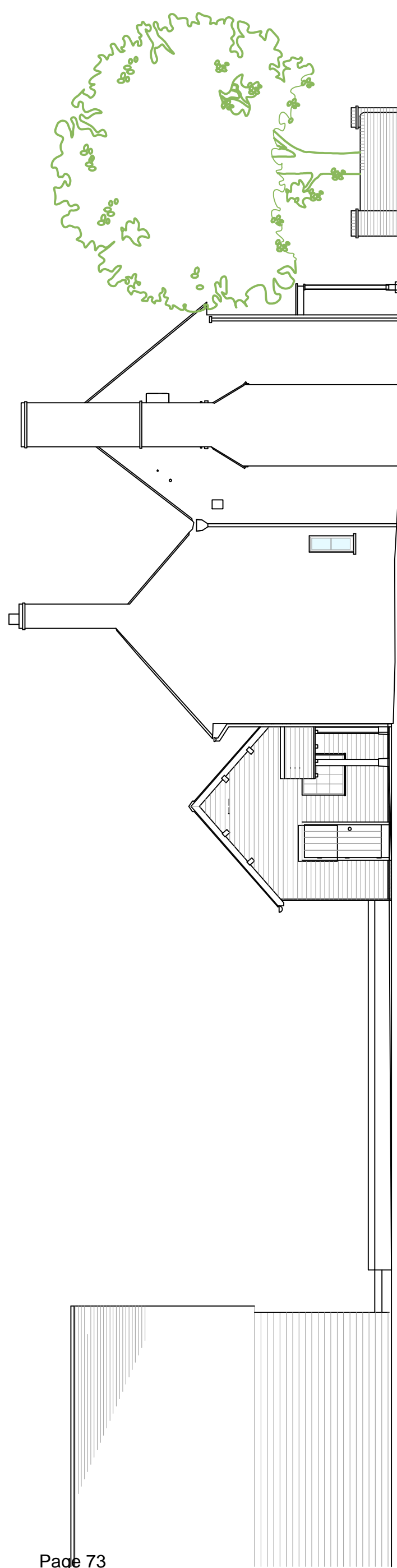
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Scale 1/100 (in metres)



PROPOSED FRONT ELEVATION



PROPOSED WEST ELEVATION

Revision Notes: Rev: ~ Date: ~ Description: ~		Date: June 2023		Scale @ A3: 1/100		Drawing Status: Design		Drawn: dmm		Checked: mp	
Project: Kings Farm, Nether Wallop Proposed Boudary wall		Drawing Title: Front and West Elevations as Proposed		Client: Mr and Mrs S MacDonald King's Farm		Project: 2164		Dwg No: D02		Rev: ~	
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ITEM 10

APPLICATION NO.	23/01817/LBWN
APPLICATION TYPE	LISTED BUILDING WORKS - NORTH
REGISTERED	20.07.2023
APPLICANT	Mr and Mrs Steward Macdonald
SITE	Kings Farm House, Station Road, Over Wallop, SO20 8HZ, OVER WALLOP
PROPOSAL	Replacement of metal railings at front boundary with Brick/flint wall
AMENDMENTS	Confirmation regarding retention of brick piers, pillars and plinth received 18.08.23
CASE OFFICER	Gillian Wheeler

Background paper (Local Government Act 1972 Section 100D)

[Click here to view application](#)

1.0 INTRODUCTION

1.1 This application has been referred to committee due to member interest.

2.0 SITE LOCATION AND DESCRIPTION

2.1 Kings Farm is a Grade II listed building within the Middle and Over Wallop Conservation Area. The application site is situated in close proximity to Wallop Brook to the south-west, which is a Site of Importance for Nature Conservation (SINC). Consequently flood zones 2 and 3 cross the front of the site. Public Right of Way (PROW) Over Wallop 3 is located opposite the front of the site, leading to St Peters Church, which is Grade II* listed.

3.0 PROPOSAL

3.1 The application seeks permission to remove the existing metal railings from the front boundary wall and replace them with brick and flint, proposed to be built on top of the existing brick plinth.

3.2 The existing gate, brick pillars and brick piers would be retained as existing, and the proposed brick and flint wall would be built to the same height as the existing railings.

4.0 HISTORY

4.1 21/03686/LBWN - Replacement of railings with wall and provision of replacement gate. Withdrawn 14.03.22

4.2 22/00151/FULLN - Replacement of railings with wall and provision of replacement gate. Withdrawn 14.03.22

5.0 CONSULTATIONS

5.1 **Design and Conservation: No objection** subject to conditions

6.0 **REPRESENTATIONS** Expired 31.08.2023

6.1 **None**

7.0 **POLICY**

7.1 Government Guidance

National Planning Policy Framework (NPPF)

National Planning Practice Guidance (NPPG)

Planning (Listed Buildings and Conservation Areas) Act 1990

7.2 Test Valley Borough Revised Local Plan (2016)(TVBRLP)

Policy E9 - Heritage

7.3 Neighbourhood Planning

The Wallops Neighbourhood Development Plan was submitted for independent examination on 31.07.23. It therefore carries some weight as an emerging plan.

Policy ELP1 – Conservation Areas

Policy ELP2 – Listed Buildings and Locally Important Heritage Assets

Policy DDP3a – Design Principles

7.4 Supplementary Planning Documents (SPD)

Wallops Conservation Area Character Appraisal, March 2008

8.0 **PLANNING CONSIDERATIONS**

8.1 The main planning considerations are:

- Impact on heritage

8.2 **Impact on heritage**

The site lies within the Middle and Over Wallop Conservation Area which is a designated heritage asset and therefore consideration must be given to the desirability of preserving or enhancing the character and appearance of the Conservation Area as set out in section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

8.3 Kings Farm House is a Grade II listed building, which is also a designated heritage asset. Section 66(l) of the Planning (Listed Buildings and Conservation Areas) Act 1990 places a statutory duty upon decision makers to have special regard to the desirability of preserving the heritage asset.

8.4 The proposal is to replace the wrought-iron railings either side of the existing front pedestrian gate with a knapped and coursed flint wall, with brick dressings and a half-round brick coping to match the existing wall at the western end. The brickwork would be in Flemish bond to match the existing wall. It is proposed that the existing Flemish bond low brick wall would be retained and repaired with lime mortar joints to match the existing, with the wrought-iron gate and brick piers also retained. The height of the proposed wall would be 75cm to match the height of the existing railings.

- 8.5 A detailed heritage statement has been provided in support of this application, which states that *no historic photos have been found that provide evidence of when the wall was built*, and that *Station Road is not characterised by low brick plinth walls with railings*. The heritage statement includes evidence to suggest that the railings are a mid-twentieth century addition.
- 8.6 As a result, it is not considered that the loss of the railings would detract from the significance of the listed building or have an adverse impact on its setting, or on the setting of the conservation area. The height of the proposed wall would not exceed the height of the existing railings, would retain the existing brick plinth, brick piers and brick pillars in the design of the resultant wall and would still allow public views of the listed building which contributes positively to the character of the conservation area, and would retain the open character of the frontage of the application site.
- 8.7 Details of the type of brick to be used, the arrangement of the bricks and flints and the details of the lime mortar can be secured by appropriately worded conditions to ensure that they would not detract from the significance of the heritage assets. Such conditions form part of this recommendation.
- 8.8 As a result of the above, and subject to conditions contained in the recommendation, it is considered that the proposed wall would preserve the character and setting of the Conservation Area, and be in accordance with Policy E9 of the TVBRLP, The Wallops Conservation Area Character Appraisal and the emerging Over Wallop Neighbourhood Plan.
- 9.0 **CONCLUSION**
- 9.1 The proposed wall would not detract from the significance of the heritage assets and would integrate successfully with the character of the area.
- 9.2 The proposals would be in accordance with Policy E9 of the TVBRLP, The Wallops Conservation Area Character Appraisal the emerging Over Wallop Neighbourhood Plan.
- 10.0 **RECOMMENDATION**
CONSENT subject to:
1. **The works hereby consented to shall be begun within three years from the date of this permission.**
Reason: To comply with the provisions of Section 18 of the Planning (Listed Building and Conservation Areas) Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.
 2. **The works hereby permitted shall not be erected unless or until samples and details of the materials to be used, including the lime mortar, and including a sample flint panel and detailed drawings showing the design and arrangement of the bricks and flints, have been submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.**

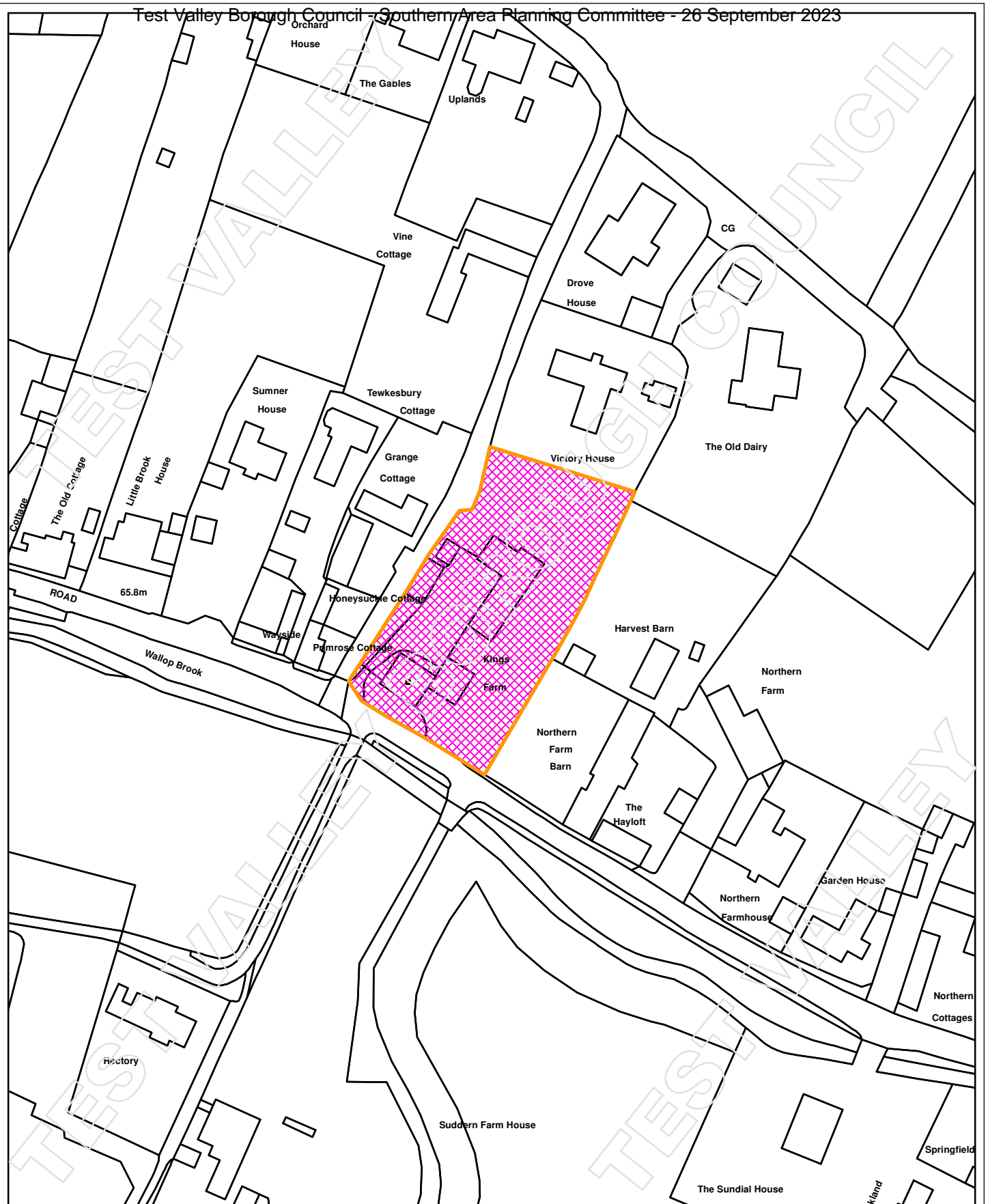
Reason: To ensure the development has a satisfactory external appearance in the interest of visual amenities and to ensure that the details would sustain the significance of the heritage assets in accordance with Policies E1 and E9 of the Test Valley Borough Revised Local Plan 2016.

- 3. The existing brick plinth, brick pillars and brick piers are to be retained in accordance with the email received from Stuart MacDonald on 18.08.23 and drawing number D02.**

Reason: To sustain the significance of the heritage assets in accordance with Policy E9 of the Test Valley Borough Revised Local Plan 2016.

Note to applicant:

- 1. In reaching this decision Test Valley Borough Council (TVBC) has had regard to the National Planning Policy Framework and takes a positive and proactive approach to development proposals focused on solutions. TVBC work with applicants and their agents in a positive and proactive manner offering a pre-application advice service and updating applicants/agents of issues that may arise in dealing with the application and where possible suggesting solutions.**
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Siteplan



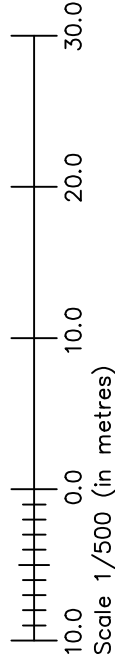
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23/01817/LBWN

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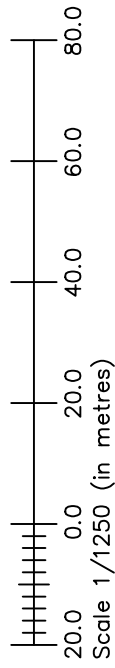


SITE BLOCK PLAN @ 1/500

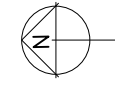
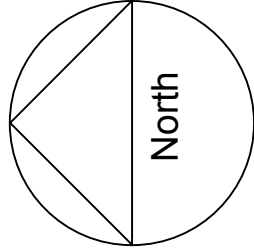


SITE LOCATION PLAN @ 1/1250

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Date:	June 2019
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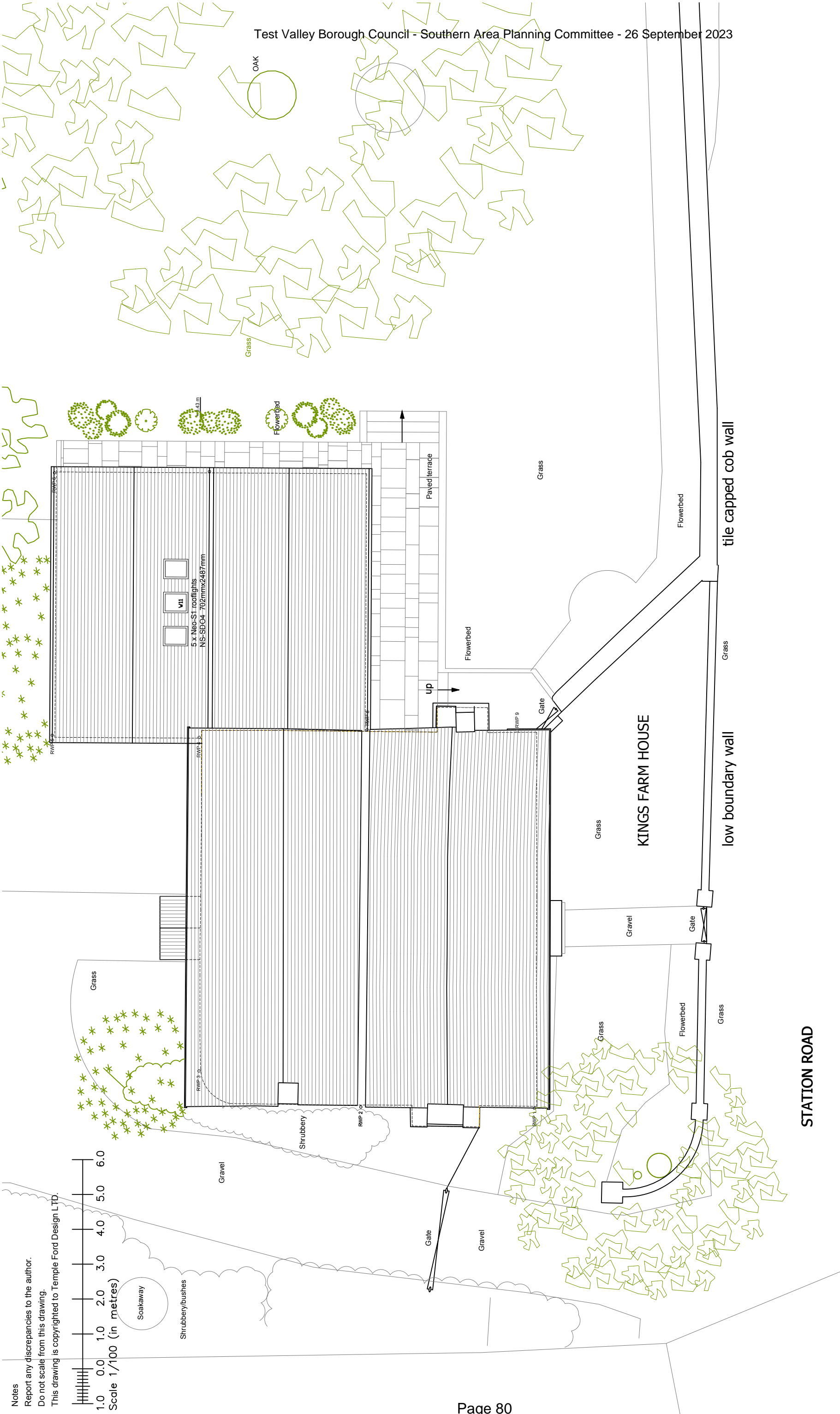
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Drawing Title:	Location and Block Plans

Client:	Mr & Mrs MacDonald
Project:	2164
Dwg No:	900
Rev:	

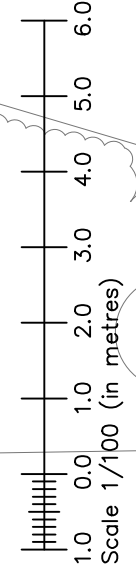
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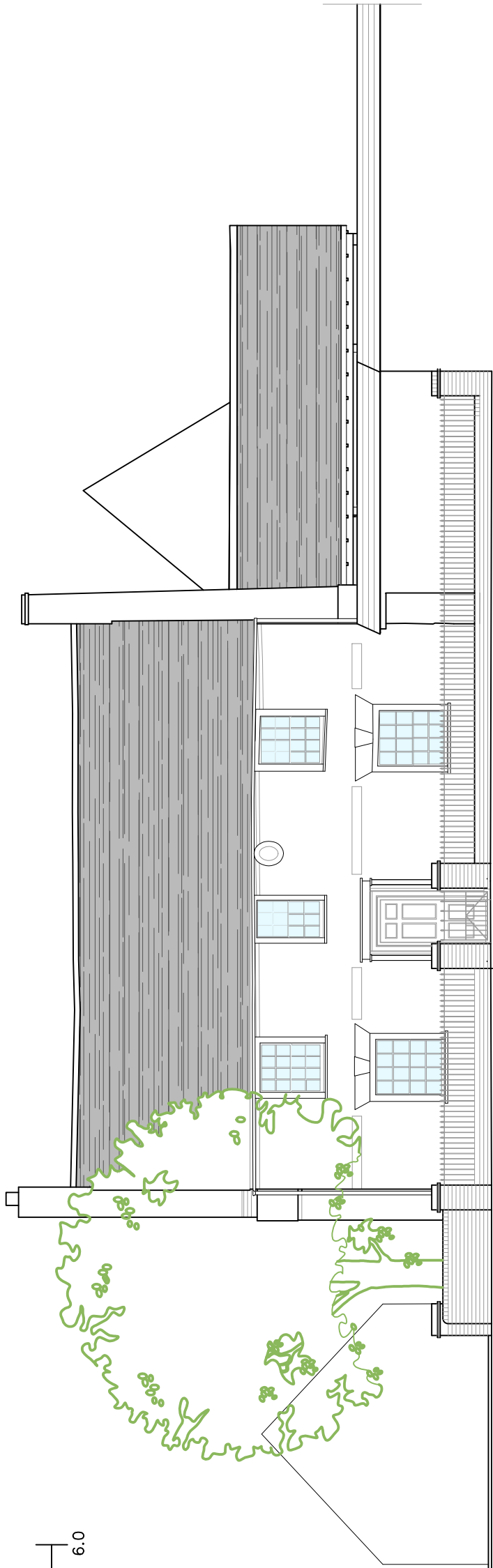
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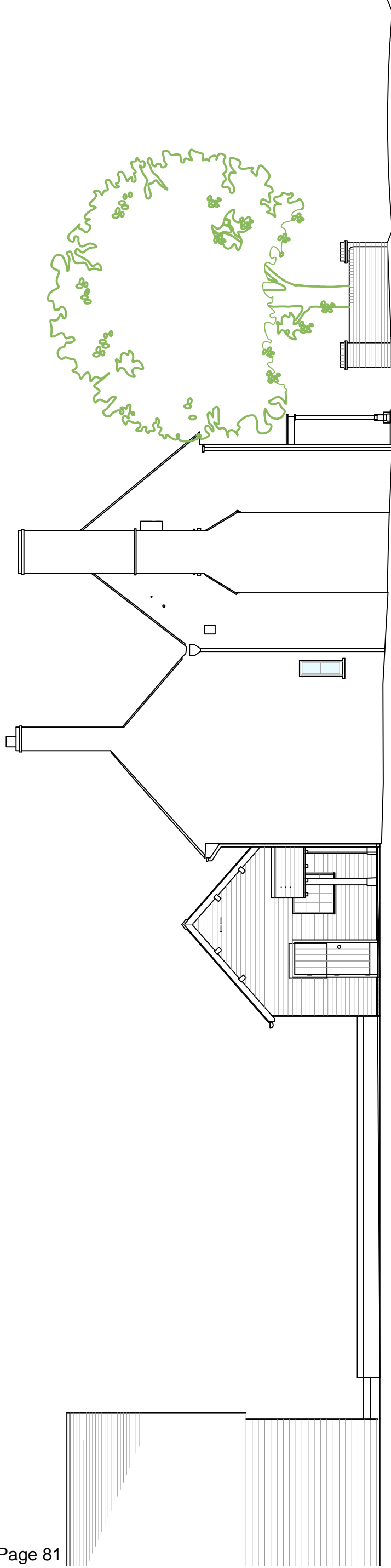
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EXISTING FRONT ELEVATION

Existing wall



EXISTING WEST ELEVATION

Existing wall

Station Road

Revision Notes:

Rev:	Date:	Description:
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Date: June 2023

Scale @ A3: 1/100

Drawing Status: Design
 Drawn: dmm
 Checked: mp

Project: Kings Farm, Nether Wallop
 Proposed Boudary wall

Drawing Title: Front and West Elevations
 as existing

Client: Mr and Mrs S MacDonald
 King's Farm

Project: 2164
 Dwg No: 902
 Rev: ~

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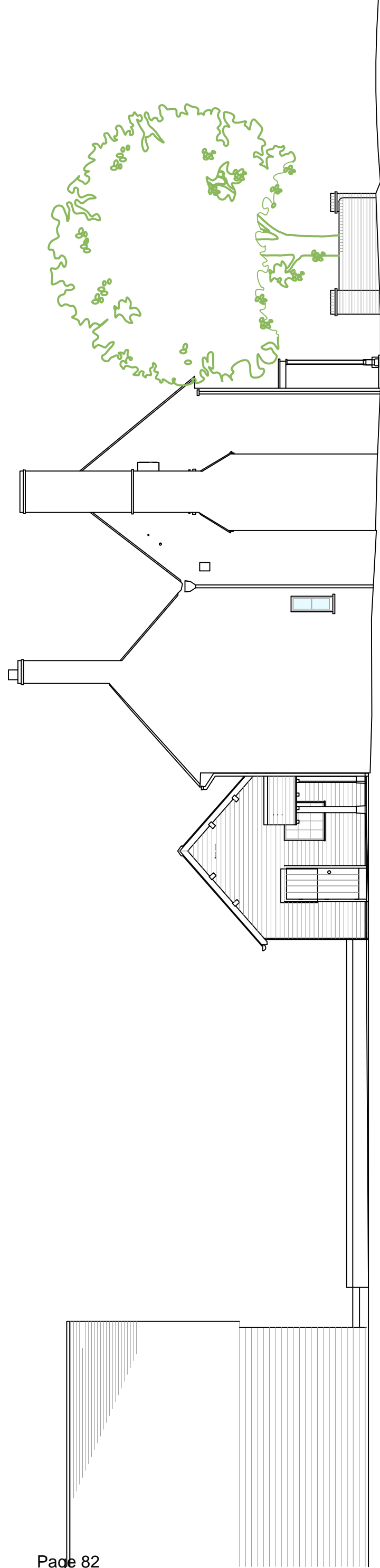
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PROPOSED FRONT ELEVATION



PROPOSED WEST ELEVATION

Revision Notes:		Date:		June 2023	
Rev:	~	Date:	~	Scale @ A3:	1/100
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Front and West Elevations as Proposed		Rev:		~	
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